



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

November 3rd, 2022

Jeff Holmes
8217 Willow Ln
Niwot, CO 80503

Re: SPRW-22-0045

Dear Jeff:

Per Article 4-802.C.1 of the Boulder County Land Use Code (the Code), the Community Planning & Permitting Director may waive Site Plan Review for any increase in the total residential floor area, which is less than 125% of the median residential floor area for the defined neighborhood in which the subject parcel is located, up to an increase of 2,000 square feet, as long as there is no potential for any significant conflict with the criteria listed in Article 4-806 of the Code. In this case, the applicant has proposed to construct a 788-square-foot attached garage and 205-square-foot enclosed porch to a 5,782-square-foot residence, resulting in a total residential square footage of 6,775 square feet, in a defined neighborhood where 125% of the median residential floor area is 7,054 square feet.

Pursuant to Article 4-802.C of the Code, the Boulder County Community Planning & Permitting Department has reviewed and granted your request to waive the Site Plan Review for the proposed addition at 8217 Willow Ln, subject to the conditions listed below. Consistent with Article 4-802.C of the Boulder County Land Use Code, this office has referred the waiver request to neighboring property owners and has not received any responses that the Community Planning & Permitting Director has determined would warrant further County review.

CONDITIONS:

1. NEIGHBORHOOD / PRESUMPTIVE COMPATIBLE SIZE

The applicable neighborhood for the subject parcel is Springhill Subdivision.

Median (total residential floor area*) in the defined neighborhood	5,643 square feet
125% of the median residential floor* area in the defined neighborhood	7,054 square feet

*Source: Boulder County Assessor's records, as verified by staff for the subject parcel.

Currently there is a 5,782-square-foot residence on the parcel with a 486-square-foot porch area, where 205-square feet of the porch area has been converted to residential floor area, as it has been enclosed without a permit. The applicants have included the screened porch in this review to come into compliance and resolve an outstanding zoning violation for grading and demolition without a permit.

The proposed 788-square-foot attached garage and 205-square-foot enclosed porch will result in a total residential size of 6,775 square feet on the parcel which is 125% or less of the median residential floor area for the defined neighborhood.

2. APPROVED SIZE

RESIDENTIAL FLOOR AREA*	
Total existing residential floor area on the subject parcel to remain	5,782 square feet
Approved NEW residential floor area	993 square feet
TOTAL residential floor area on the subject parcel	6,775 square feet

**Residential Floor Area includes all attached and detached floor area on a parcel including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices, and workshops, excluding covered deck. Floor area does not include the area of any covered porch. Gazebos, carports, detached greenhouses and hoopouses up to a total combined size of 400 square feet are also exempt.*

Staff supports the size as proposed as it is under the presumptive size limitation and the resulting size of 6,775 square feet is compatible with the general character of the defined neighborhood.

3. ACCESS REQUIREMENTS

The subject property is accessed via Willow Lane, a Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Local. Legal access has been demonstrated via adjacency to this public ROW.

The existing driveway appears to measure approximately 16 feet in width from aerial imagery, which complies with the [Boulder County Multimodal Transportation Standards](#) (the “Standards”) for residential development in the plains.

The applicant must submit an engineered grading and drainage plan that clearly shows the following information: existing and proposed contours, drainage details including flow lines and how drainage will be handled downslope from the proposed driveway and residence. Grading calculations signed and sealed by a qualified Colorado-licensed Professional Engineer, Landscape Architect, or Architect must be submitted with the plan.

Plans submitted for permitting must demonstrate that the proposed earthwork will not alter or increase the historic drainage patterns from the site to adjacent properties.

During construction, all materials, machinery, dumpsters, and other items must be staged on the subject property; no items shall be stored or staged on Willow Lane. All worker vehicles must be parked on site or to one side of Willow Lane so as to not impede the travel way.

4. HEIGHT / HEIGHT VERIFICATION

The height of the proposed structure is approved at 16’9” from existing grade, as shown on the elevation drawings dated February 9, 2022.

5. EXTERIOR COLOR

The application materials indicate yellow will be used for the siding and tan will be used for the roofing to match the existing residence, although, no color samples were provided. Due to the structure’s visible position in the landscape, samples of the exterior colors and metallic materials shall be provided to ensure visual impacts of the development are minimized and that the development blends in with the natural environment and neighborhood character of the surrounding area. Staff supports the proposed colors. This ensures that they are compatible with the policies and goals established by the Comprehensive Plan and provisions of the Land Use Code and will not result in an adverse impact on surrounding properties.

Prior to issuance of building permits, submit to the Community Planning & Permitting Department for review and approval, three sets of exterior color samples (color chips, brochure, or catalog page) and material samples to be used including roof, siding, and trim. Samples can be submitted electronically and should be included as part of the building plan set required at the time of permit application.

At the time of final inspection, the Community Planning & Permitting Department must inspect and verify that the approved color samples are used on the new structure.

6. EXTERIOR LIGHTING

The locations and types of exterior lighting fixtures were not provided in the application. Given the visible position in the landscape and the rural character of the area, lighting has the potential to cause negative visual impacts. In order to minimize adverse visual impacts, lighting on site should be limited to one (1) fixture for each exterior entrance and the use of landscape or driveway lighting is discouraged.

Prior to issuance of building permits, one copy of a proposed lighting plan must be submitted to the Community Planning & Permitting Department for review and approval. The lighting plan shall be included as part of the building plan set required at the time of permit application.

NOTE: Down lighting is required, meaning that all bulbs must be fully shielded to prevent light emissions above a horizontal plane drawn from the bottom of the fixture. All exterior light fixtures must be in conformance with Article 7-1600 and Article 18-162A of the Boulder County Land Use Code.

At the final inspection, the full installation of the approved lighting plan must be inspected and approved by the Community Planning & Permitting Department.

7. EARTHWORK & GRADING

The following earthwork and grading requirements are approved:

Driveway Earthwork	10 cubic yards fill
Foundational Earthwork	25 cubic yards cut, and 15 cubic yards backfill
Additional Earthwork	None Proposed

8. REVEGETATION

Prior to final inspection, all areas of exposed soil must be revegetated. If weather is not conducive to seeding or if adequate revegetation efforts have not occurred, an irrevocable letter of credit or monies deposited into a County Treasurer account must be provided to assure completion of revegetation. What is considered “adequate revegetation” is influenced by the

amount of site disturbance, potential for significant erosion (steep slopes), and visibility. In all cases some level of germination and growth is required. Note that areas of disturbance not included on the site plan are still subject to reseeding. Please note that no species on List A, B or C in the County's 2004 Noxious Weed Management Plan may be used to meet Revegetation requirements.

9. RESOLUTION OF ZONING VIOLATION

There is currently an outstanding zoning code violation (ZON-22-0004) for grading and demolition without a permit. The applicants are coming into compliance through this review.

Prior to the issuance of Building Permits, ZON-22-0004 must be resolved.

If you have any questions or concerns, please feel free to contact me at 303-441-1161 or via e-mail at ascheuermann@bouldercounty.org

Sincerely,



Abigail Scheuermann
Planner I

ADDITIONAL REQUIREMENTS AND INFORMATION:

BUILDING PERMIT: A building permit, plan review, and inspection approvals are required for the proposed addition.

Please refer to the county's adopted 2015 editions of the International Codes and code amendments, which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL:

<https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf>

BUILDSMART: Please refer to the county's adoption and amendments to Chapter 11 of the IRC, the county's "BuildSmart" program, for the applicable requirements for energy conservation and sustainability for residential additions and new residential buildings. Please be aware that there are energy related requirements of this code that may require the use of renewable energy systems (such as rooftop solar systems) that will also need to be approved by your electric utility provider. In some cases, there may be limitations on the size of on-site systems allowed by your utility provider that could constrain the project design. We strongly encourage discussions between the design team and the utility company as early in the process as possible in order to identify these constraints.

DESIGN WIND AND SNOW LOADS: The design wind and ground snow loads for the property are 150 mph (Vult) and 40 psf, respectively.

IGNITION-RESISTANT CONSTRUCTION: Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space.

ELECTRIC VEHICLE CHARGING OUTLET: Boulder County Building Code requires:

a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125-volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or two-family dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:

- i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
- ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
- iii. Electrical conduit to allow ease of future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet.

TRANSFERABLE DEVELOPMENT CREDITS (TDC) REQUIREMENTS: Boulder County's TDC program, effective August 8, 2008, requires that, in general, homeowners who wish to build residences with floor areas greater than 6,000 square feet in unincorporated Boulder County purchase TDC Certificates. Please be aware that it appears two development credits would be required for this proposed project. The actual number of development credits necessary will be determined during the building permit review, once the exact square footage of your project is calculated. The number of development credits you need to purchase will be based on the total residential floor area on your parcel, including the proposed project and all other existing residential floor area. The TDC Clearinghouse will provide you with information on Boulder County's new TDC program, help you to obtain TDC Certificates for sale or purchase, and facilitate the market for TDCs. See <https://www.bouldercounty.org/property-and-land/land-use/planning/transferable-development-credits-tdc/marketplace/> for more information.

PLAN REVIEW: The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building code requirements are to be met. Our [Commercial Plan Submittal Checklist](#) and other Building Safety publications can be found at: <https://www.bouldercounty.org/property-and-land/land-use/building/building-publications/>

HAULER LICENSE: A Boulder County Hauler License is required for hauling of material off site, regardless of where the material is deposited. This applies to the prime contractor as well as any subcontractors that collect, transport, or dispose of any materials (dirt, gravel, garbage, recyclables, or compostables, construction and demolition waste, or landscaping materials) anywhere except within the project site, including locations outside unincorporated Boulder County. Additional information can be found [here](#).

cc: SPRW-22-0045 file, property owner



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

<i>Shaded Areas for Staff Use Only</i>
Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name	
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent	<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning	<input type="checkbox"/> Road Name Change <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Site Plan Review <input checked="" type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP	<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:
Location(s)/Street Address(es) <u>8217 Willow Lane</u>			
Subdivision Name <u>Spring Hill Sub PUD replat A NIV set</u>			
Lot(s) <u>4</u>	Block(s) <u>2</u>	Section(s) <u>31-2N-CA</u>	Township(s) _____ Range(s) _____
Area in Acres <u>3/4</u>	Existing Zoning <u>RR</u>	Existing Use of Property <u>residential</u>	Number of Proposed Lots _____
Proposed Water Supply _____		Proposed Sewage Disposal Method _____	

Applicants:

Applicant/Property Owner <u>Ben Beveridge</u>		Email <u>bbeveridge@porchfronthomes.com</u>	
Mailing Address <u>102 2nd AV</u>			
City <u>Niwot</u>	State <u>CO</u>	Zip Code <u>80544</u>	Phone <u>720-360-8166</u>
Applicant/Property Owner/Agent/Consultant <u>Jeff Holmes</u>		Email <u>ferris_h@hotmail.com</u>	
Mailing Address <u>8217 Willow Lane</u>			
City <u>Niwot</u>	State <u>CO</u>	Zip Code <u>80503</u>	Phone _____
Agent/Consultant _____		Email _____	
Mailing Address _____			
City _____	State _____	Zip Code _____	Phone _____

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner <u>[Signature]</u>	Printed Name <u>Jeffrey G. Holmes</u>	Date <u>5 Oct 2022</u>
Signature of Property Owner _____	Printed Name _____	Date _____

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Vicinity

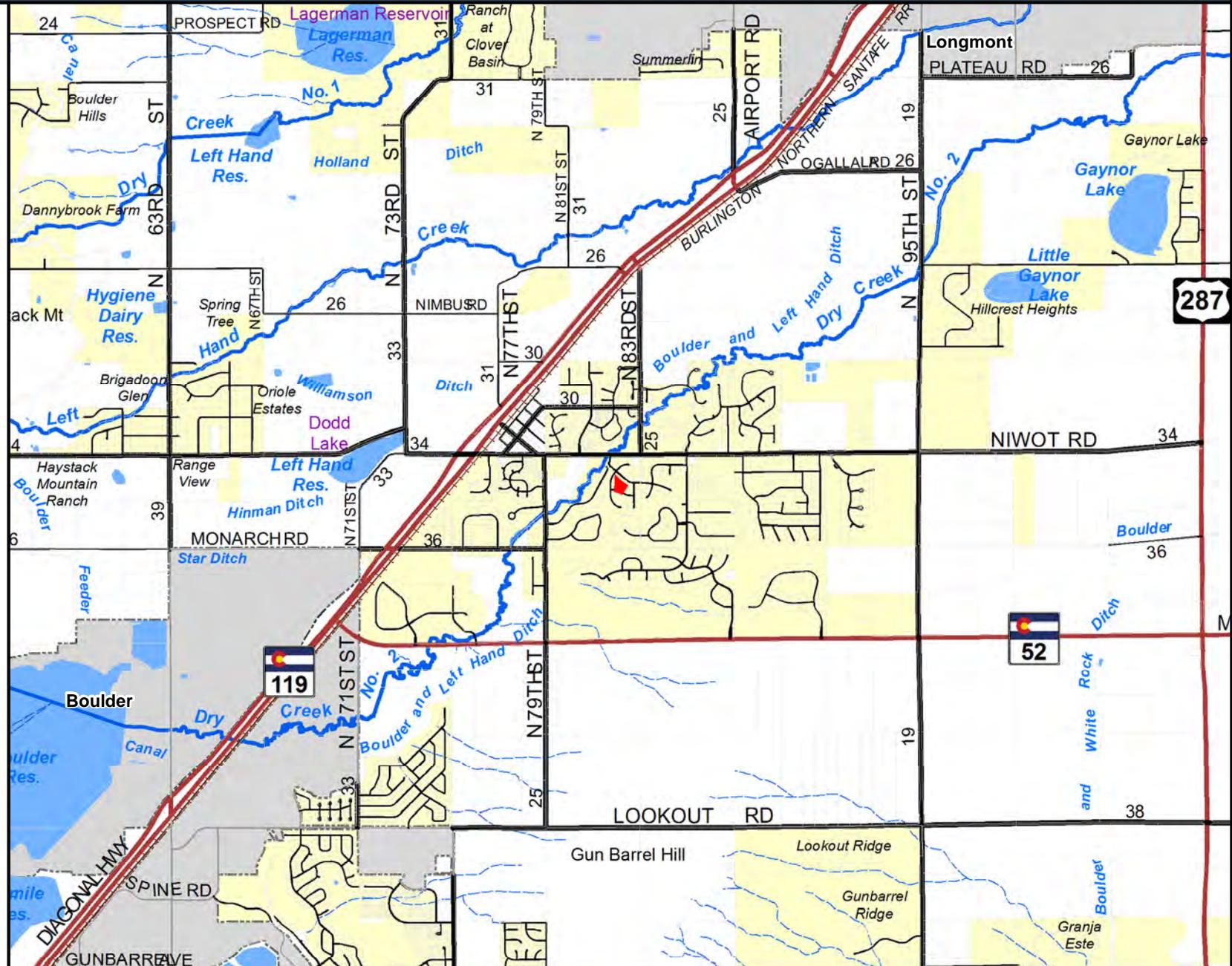
8217 WILLOW LN

Subject Parcel

Municipalities

Subdivisions

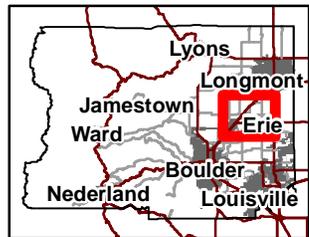
Subdivisions



0 0.35 0.7 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Location

8217 WILLOW LN

Subject Parcel

Subdivisions

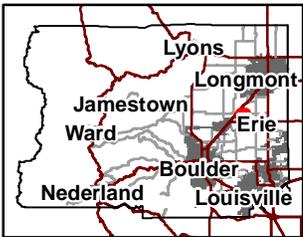
Subdivisions



0 0.035 0.07 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



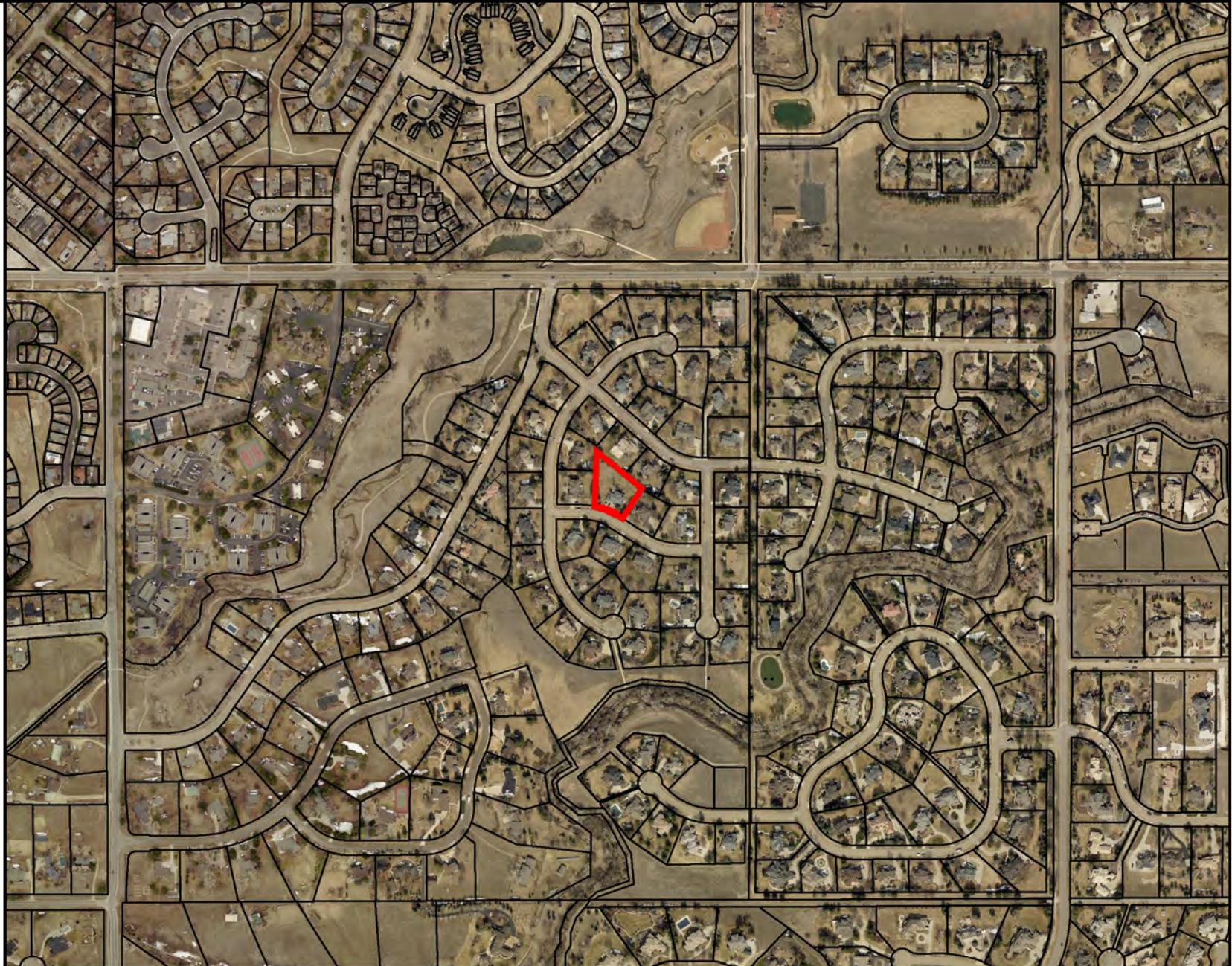
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Aerial

8217 WILLOW LN

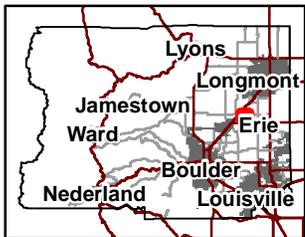
 Subject Parcel



0 0.05 0.1 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



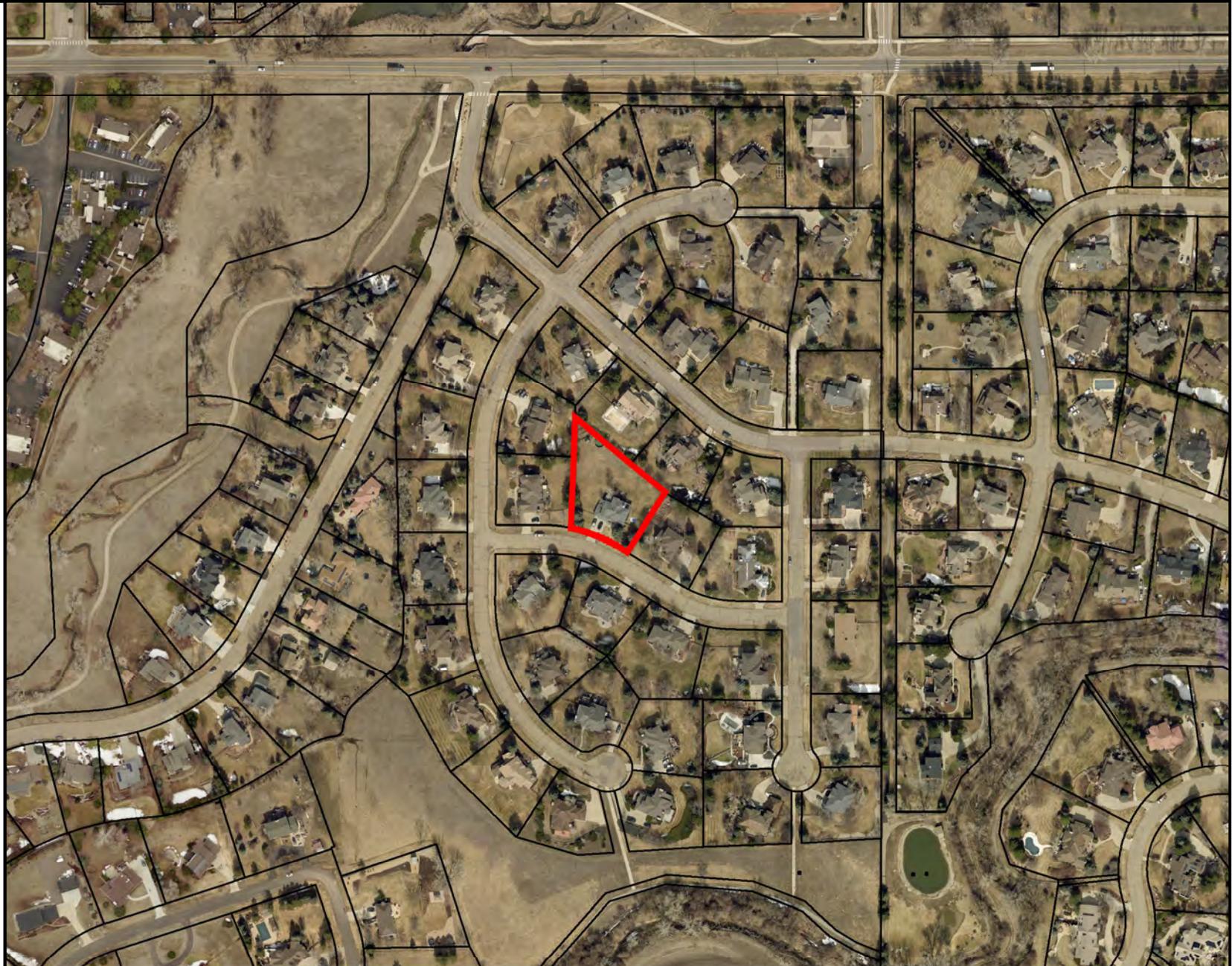
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Aerial

8217 WILLOW LN

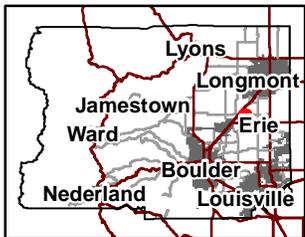
 Subject Parcel



0 0.025 0.05 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Comprehensive Plan

8217 WILLOW LN

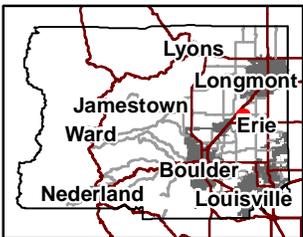
 Subject Parcel



0 0.025 0.05 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



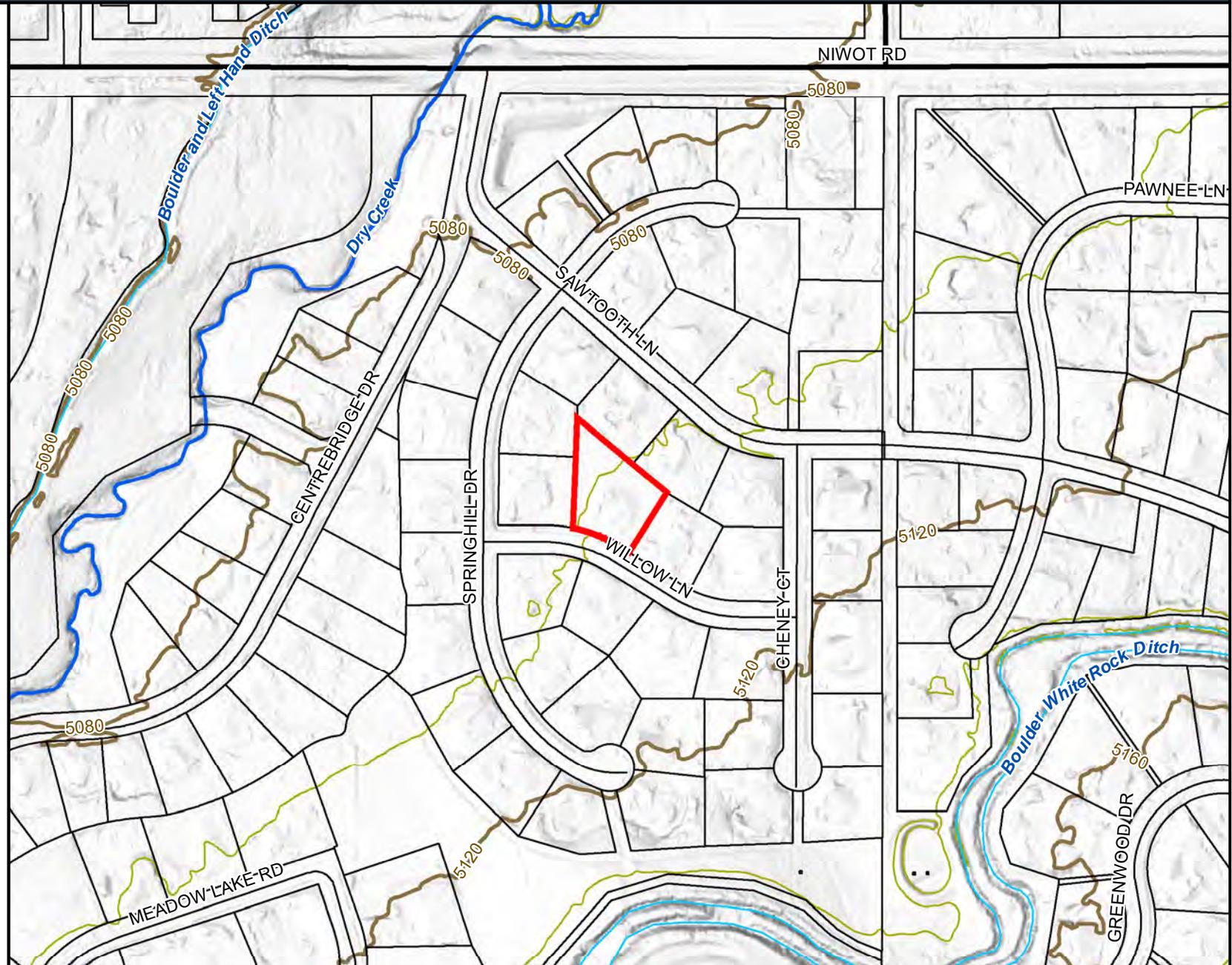
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Elevation Contours

8217 WILLOW LN

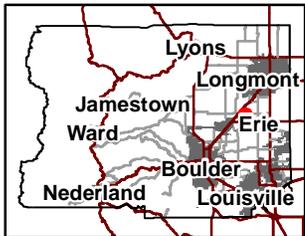
- Subject Parcel
- Contours 40'
- Contours 20'



0 0.025 0.05 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



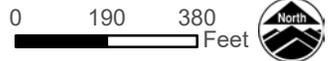
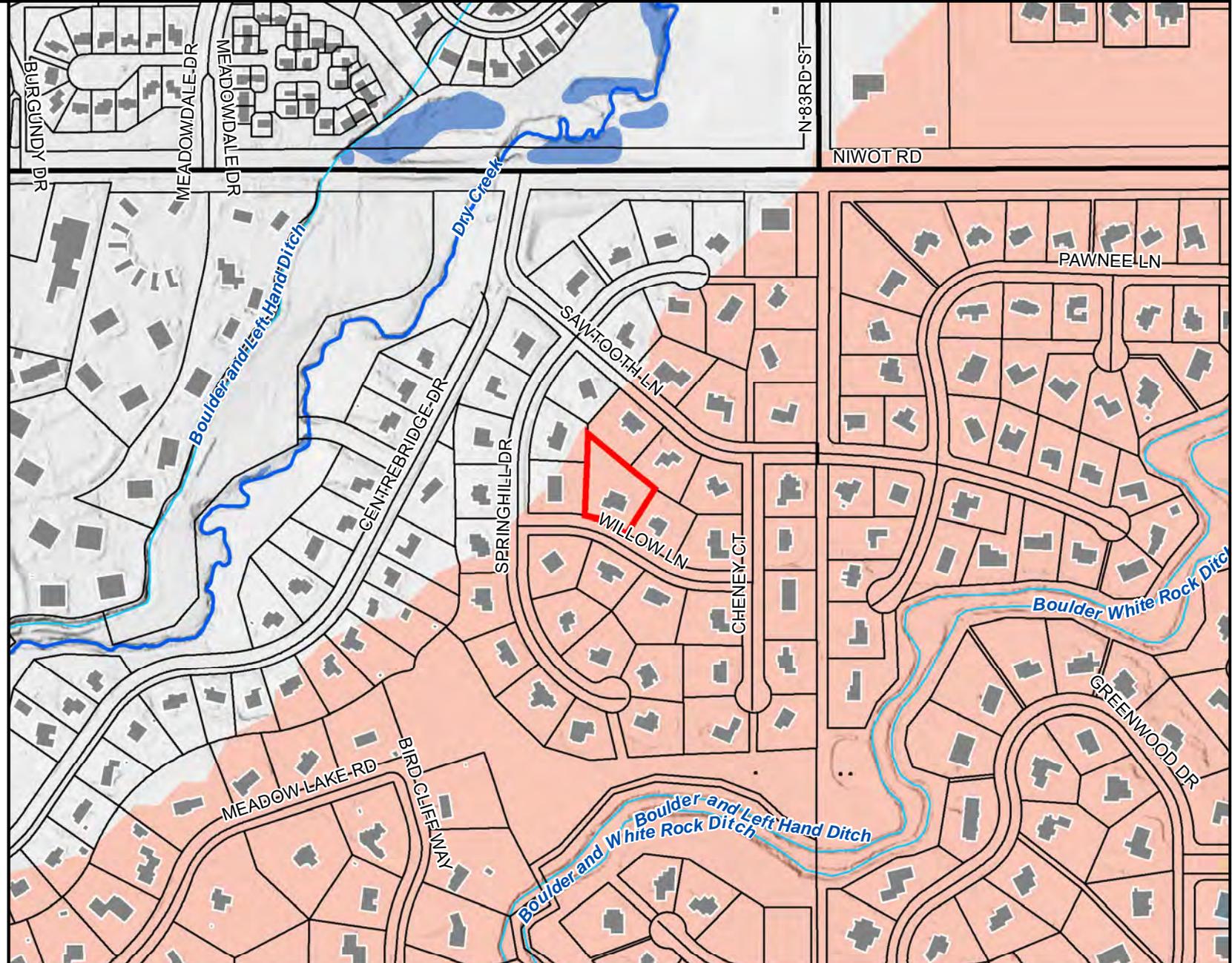
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

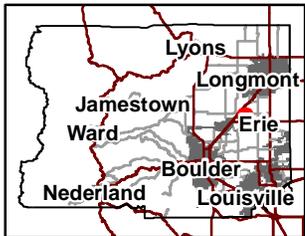
Geologic Hazards

8217 WILLOW LN

-  Subject Parcel
-  High Swelling Soil Potential



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

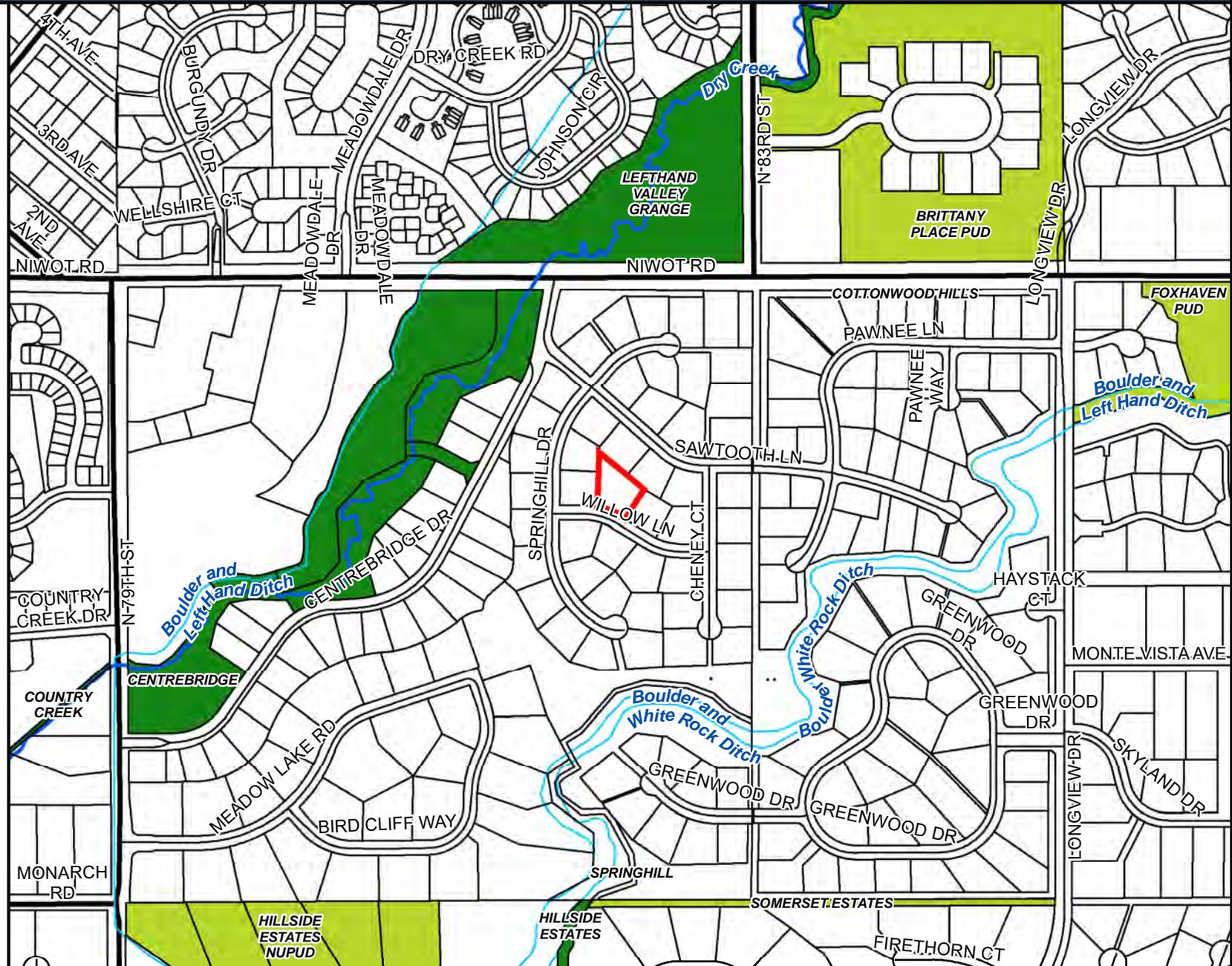
Public Lands & CEs

8217 WILLOW LN

Subject Parcel

Boulder County Open Space

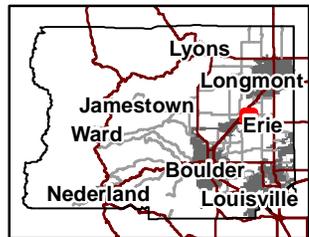
- County Open Space
- Conservation Easement



0 0.05 0.1 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Zoning

8217 WILLOW LN

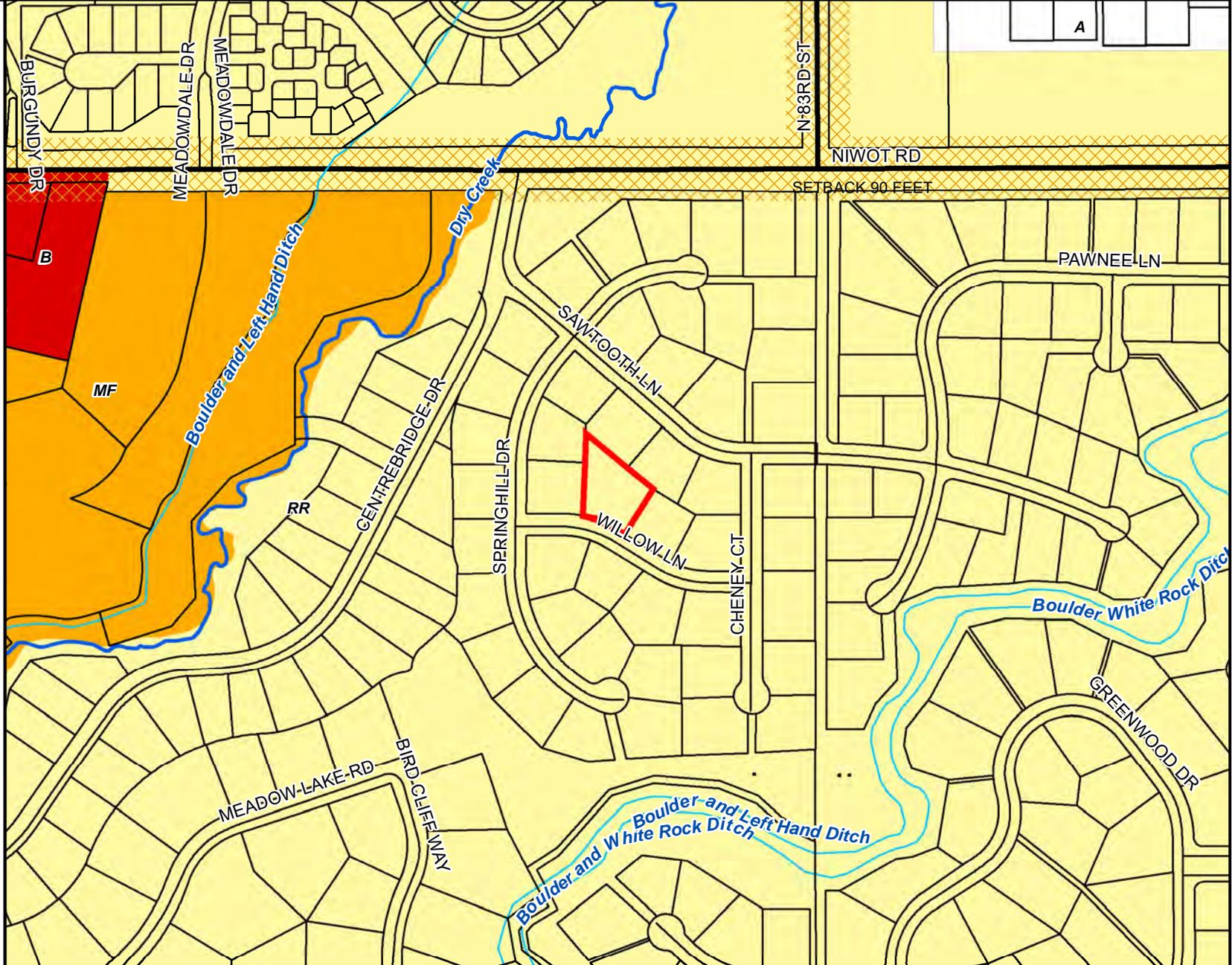
Subject Parcel

Major Road Setbacks

90 feet

Zoning Districts

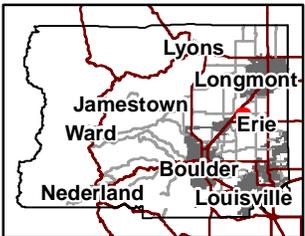
- Agricultural
- Business
- Multiple Family
- Rural Residential



0 0.035 0.07 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer

Site Plan Review Waiver Fact Sheet

The applicant(s) is/are required to complete each section of this Fact Sheet is required to be completed, even if the information is duplicated elsewhere in the application. Completed Fact Sheets cut application review time, and assist staff in expediting determinations. Please make duplicates of this page if the project involves more than two structures. Please note: If a project is granted a SPR Waiver but the building permit floor area calculations result in new floor area exceeding 2,000 sq. ft., then the project will trigger a full SPR prior to issuance of a building permit.

Structure #1 Information

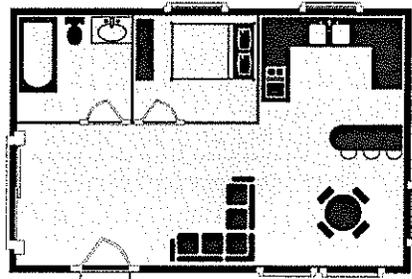
Type of Structure: (e.g. residence, studio, barn, etc.)		Single Family home		
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		5782	Deconstruction:	
		sq. ft.	sq. ft.	
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)				
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential
				<input type="checkbox"/> Non-Residential
	Finished	Unfinished	Total	Height (above existing grade)
Basement:	1046 sq. ft.	538 sq. ft.		16'0"
First Floor:				Exterior Wall Material Lap Siding Brick
Second Floor:				Exterior Wall Color Yellow to match
Garage:				Roofing Material Asphalt
<input type="checkbox"/> Detached	0	788	788	
<input checked="" type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.	
*Covered Porch:				Roofing Color tan
	sq. ft.	sq. ft.	sq. ft.	
Total:				Total Bedrooms 4
	sq. ft.	sq. ft.	sq. ft.	

Project Identification:

Project Name:	8217 willow lane
Property Address/Location:	8217 willow lane
Current Owner:	Jeff Holmes
Size of Property in Acres:	.73

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. Covered porch area that is attached to the principal structure is not included (see Article 18-131A). The shaded area on the diagram indicates the area counted as square feet.



Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)		Closed in Porch		
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		205	Deconstruction:	
		sq. ft.	sq. ft.	
Are new floor areas being proposed where demolition will occur? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)				
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential
				<input type="checkbox"/> Non-Residential
	Finished	Unfinished	Total	Height (above existing grade)
Basement:				
First Floor:				Exterior Wall Material Siding
Second Floor:				Exterior Wall Color Yellow
Garage:				Roofing Material Asphalt
<input type="checkbox"/> Detached				
<input checked="" type="checkbox"/> Attached				
*Covered Porch:	205			Roofing Color
	sq. ft.	sq. ft.	sq. ft.	
Total:				Total Bedrooms
	sq. ft.	sq. ft.	sq. ft.	

*See Article 18-131A for definition of covered porch.

Floor Area

Please Note: If a project is granted a SPR Waiver but the building permit floor area calculations result in new floor area exceeding 2,000 sq. ft., then the project will trigger a full SPR prior to issuance of a building permit.

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application. If more room is needed, feel free to attach a separate sheet.

Garge is Slab on grade and Soil Level will be raised with dirt on site up to frost level. No Hauling on or off site	

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature 	Print Name <u>Ben Beveridge</u>	Date <u>4/12/22</u>
---	---------------------------------	---------------------

Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal
Driveway and Parking Areas		10 yards	10 y
Berm(s)			
Other Grading			
Subtotal		10	10 <small>Box 1</small>
* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.			
	Cut	Fill	Total
Foundation	25	15	10 y
Material cut from foundation excavation to be removed from the property			0

Excess Material will be Transported to the Following Location:

Excess Materials Transport Location: <u>on site</u>

THE HOLMES RESIDENCE REMODEL

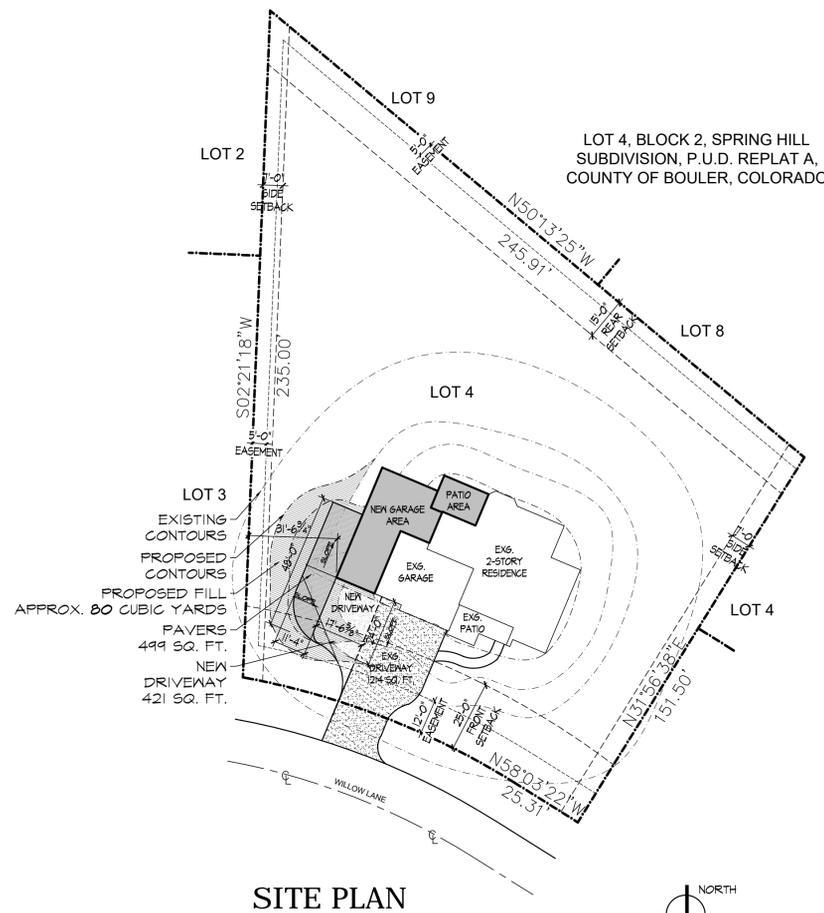
NEW SQUARE FOOTAGE - 993	AREA (SQUARE FEET)
ADDITIONAL CONDITIONED SPACE - ENCLOSED PATIO: ADDITIONAL GARAGE AREA:	205 S.F. 788 S.F.
TOTAL ADDED AREA:	993 S.F.

BOULDER COUNTY LAND USE	
TOTAL BUILDING AREA FOR SIZE REQUIREMENTS (MF, LL, UF, GARAGE)	5,782 S.F.
125% OF THE MEAN BASED ON REPORT PROVIDED AMOUNT OF ADDITIONAL S.F. ALLOWED ON SITE	7,084 S.F.
	1,272 S.F.

THE ANSI Z765 Method of Calculating Single Family Residential Square Footage WAS USED TO DETERMINE FINISHED AND UNFINISHED SQUARE FOOTAGE. CALCULATIONS FOR THIS HOUSE ARE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE ACTUAL SQUARE FOOTAGE OF THE HOUSE AS BUILT.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL OF THE NECESSARY INFORMATION REQUIRED TO COMPLETE A MAJORITY OF THE WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ALL CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR NEGLECTED IN THE DOCUMENTS.
- SHOP DRAWINGS MAY BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK BEGINS, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS AND BE SUBJECT TO REPLACEMENT AS DEEMED NECESSARY BY THE ARCHITECT.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTED DIMENSIONS WITH "N.T.S." DENOTES NOT TO SCALE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- DO NOT SCALE DRAWINGS.
- ANY DISCREPANCY FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL WOOD VENEER IN CABINETRY TO MATCH IN SPECIES AND COLOR INCLUDING DOOR FACE, FILLERS, LIGHT VALENCE, EDGE TAPE, ETC.
- PROVIDE ATTIC STOCK IN EACH UNIT FOR ALL FINISHES.
- CONTRACTOR TO PROVIDE TEMPORARY SIGNAGE FOR ALL BUILDINGS DURING CONSTRUCTION AS REQUIRED.



SITE PLAN

SCALE: 1" = 30'

CODE COMPLIANCE

- APPLICABLE CODES:
- 2015 International Residential Code
 - 2015 International Plumbing Code
 - 2015 International Mechanical Code
 - 2015 International Fire Code
 - 2015 International Energy Conservation Code
 - 2017 National Electric Code
- Local Amendments:
BOULDER COUNTY & BOULDER COUNTY BUILDSMART

LIST OF ABBREVIATIONS

#	AT	FV	FIELD VERIFY	HT&G	HOLDER TONGUE AND GROOVE
ABV	AND ABOVE	FO	FINISH OPENING	TO	TOP OF...
AFF	ABOVE FINISH FLOOR	FP	FIRE FLAGE	TOC	TOP OF CONCRETE
ADJ	ADJACENT	FDN	FLOOR DRAIN FOUNDATION	TOP	TOP OF FLOOR
AL	ALUMINUM	G1	GALVANIZED IRON	TOM	TOP OF MASONRY
APPROX	APPROXIMATE	GA	GAUGE	TOS	TOP OF STEEL
ARCH	ARCHITECTURAL	GYP	GYPSUM	TOW	TOP OF WALL
BRS	BEARING	HC	HANDICAP	OC	ON CENTER
BLM	BELOW	HVAC	HEATING	OPNG	OPENING
BD	BOARD	OD	OUTSIDE DIAMETER	OPT	OPTIONAL
BO	BOTTOM OF...	OV	OVERHEAD	OH	OVERHEAD
CANT	CANTILEVER	HM	HOLLOW METAL	TR	TOWEL RING
CPT	CARPET	HOR	HORIZONTAL	T	TREAD
CIP	CAST IN PLACE	HB	HOSE BIBB	TS	TUBE STEEL
CL6	CEILING	HR	HOUR	TYF	TYPICAL
CL	CENTER LINE	INT	INTERIOR	UNO	UNLESS NOTED OTHERWISE
CLO	CLOSET	LAV	LAVATORY	ULF	UPPER LEVEL FLOOR
COL	COLUMN	LLF	LOWER LEVEL FLOOR	VTR	VERTICAL
CONC	CONCRETE	MLF	MAIN LEVEL FLOOR	VEST	VESTIBULE
CONT	CONTINUOUS	MFR	MANUFACTURER	VOL	VOLUME
DTL	DETAIL	MO	MASONRY OPENING	WC	WATER CLOSET
DIA	DIAMETER	MAX	MAXIMUM	WR	WATER RESISTANT
DIM	DIMENSION	MDF	MEDIUM DENSITY FIBERBOARD	WDN	WINDOW
DR	DOOR	MTL	METAL	W	WITHOUT
DN	DOWN	MIN	MINIMUM	WO	WOOD
DNS(S)	DRAWING(S)	MIR	MIRRORED	2R2S	CLOSETS-2 RODS 2 SHELVES
EA	EACH	MISC	MISCELLANEOUS		
ELEC	ELECTRICAL	MR	MOISTURE RESISTANT		
ELEV	ELEVATION	NIC	NOT IN CONTRACT NUMBER		
EQ	EQUAL	NO	NO		
ETS	EXPOSED TO STRUCTURE	TEL	TELEPHONE		
EXG	EXISTING	TEMP	TEMPERED		
EXT	EXTERIOR	TPH	TOILET PAPER		
FOC	FACE OF CONCRETE				

SHEET INDEX

ARCHITECTURAL

COVER	COVER SHEET
NOTES	GENERAL NOTES
A-1.0	AS-BUILT LOWER LEVEL PLAN / DEMO PLAN
A-1.1	LOWER LEVEL FLOOR PLAN-PROPOSED
A-2.0	AS-BUILT MAIN LEVEL PLAN / DEMO PLAN
A-2.1	MAIN LEVEL FLOOR PLAN-PROPOSED
A-3.0	AS-BUILT ROOF PLAN / DEMO PLAN
A-3.1	ROOF PLAN, SECTION, DECK DETAIL- PROPOSED
A-4.0	FRONT & SIDE ELEVATIONS - DEMO
A-4.1	FRONT & SIDE ELEVATIONS - PROPOSED
A-5.0	REAR ELEVATION DEMO & PROPOSED
AD-1	DETAILS
AD-2	DETAILS
AD-3	DETAILS

STRUCTURAL

UNDER SEPARATE COVER

ELECTRICAL

E-1 MAIN LEVEL ELECTRICAL PLAN

PROJECT TEAM

ARCHITECT:
OSMOSIS ARCHITECTURE, INC.
290 SECOND AVENUE
PO BOX 1024
NIWOT, CO 80544-1024
PH: 303.652.2668
FAX: 303.652.2717
EMAIL: apostle@osmosisarchitecture.com

BUILDER:
PORCHFRONT HOMES, INC
102 2ND AVE
NIWOT, CO 80544
PH: 303.442.8453
FAX:
EMAIL:

STRUCTURAL ENGINEER:
NAME
ADDRESS
PH:
FAX:
EMAIL:

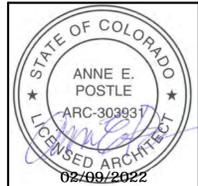
VICINITY MAP



SYMBOLS LEGEND

	BUILDING SECTION		DOOR/WINDOW ABBREVIATIONS:		HOSE BIBB (FREEZE PROOF)		CONCRETE
	DETAIL ENLARGEMENT		FR 2468 DOOR PAIR 2'-4"x6'-8"		SAND OR GRAVEL FILL		STONE
	DRAWING TITLE / SCALE		3040 FX 3'-0"x4'-0", FIXED WINDOW		BRICK		STEEL
	FLOOR DRAIN		AN ANNING WINDOW		CONCRETE BLOCK		DIMENSIONAL LUMBER
	FURNACE		CASSETMENT WINDOW				BLOCKING
	INTERIOR ELEVATION		DOUBLE CASSETMENT WINDOW				FINISH GRADE WOOD
	REVISION MARKER		DOUBLE HUNG WINDOW				PLYWOOD
	DETAIL/WALL SECTION MARKER		EGRESS WINDOW				INSULATING SHEATHING
	WATER HEATER		FIXED WINDOW				BATT INSULATION
			SINGLE HUNG WINDOW				
			SLIDER WINDOW				
			TEMPERED GLASS				
			TRANSOM WINDOW				

OSMOSIS ARCHITECTURE, INC. 290 SECOND AVENUE, PO BOX 1024, NIWOT, CO 80544-1024
PH: 303.652.2668 FAX: 303.652.2717
www.osmosisarchitecture.com



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE: DATE:
PERMIT 2/9/2022

CURRENT/REVISION ISSUE: DATE:
2/9/2022 2/9/2022

NO.	REVISION TITLE:	DATE:

JOB #: 21028
DRAWN: TJH/KMK
CHECKED: AEP

COVER

GENERAL NOTES

GENERAL REQUIREMENTS

Dimensions take precedence over drawn information. Do not scale. All dimensions shown are to face of studs and all studs are 3-1/2" wide unless otherwise noted.

A. Codes

1. Before final drawings and specifications are issued for construction they shall be submitted to all governing building agencies to insure their compliance with all applicable local and national codes. If code discrepancies in drawings and/or specifications appear, the Architect shall be notified of such discrepancies in writing by Builder or building official, and allowed to alter drawings and specifications so as to comply with governing codes before construction begins.

2. The contractor, project manager and all subcontractors are to examine and verify all dimensions and existing conditions both on the plans and in the field. Notify Architect of any discrepancies or conflicts prior to proceeding with construction.

3. Upon written receipt of approval from the governing official, approved final drawings and specifications shall be submitted by the Builder.

4. If code discrepancies are discovered during the construction process, Architect shall be notified and allowed ample time to remedy said discrepancies.

5. All work performed shall comply with all applicable local, state and national building codes and regulations, and all other authorities having jurisdiction. The following is a partial list of applicable codes in force.

- 2015 International Residential Code (IRC)
 - 2015 International Energy Conservation Code (IECC)
 - 2017 National Electric Code (NEC)
6. Minimum corridor width is to be 36" Finish clear.
7. Crown spaces are to be conditioned with 10 mil polyethylene continuous vapor barrier with 24" lapped joints, per code.
8. Provide a 12" min. clearance from the bottom of wood beams and an 18" min. clearance from the bottom of wood joists to the crawlspace surface. Provide min. 18" x 24" access panel to crawlspace that is unobstructed by pipes, ducts and other similar construction per code.

9. Ceiling heights for all rooms shall comply per code.

B. All contractors, subcontractors, suppliers and fabricators, shall be responsible for the content of drawings and specifications and for the supply and design of appropriate materials and work performance.

C. All manufactured articles, materials and equipment shall be approved, installed, erected, used, cleaned and conditioned in strict accordance with the manufacturer's recommendations.

D. All alternates are at the option of the Builder and shall be at the Builder's request, constructed in addition to or in lieu of the typical construction, as indicated on the drawings.

E. Design Loads

- See Structural Drawings for design loads.
- Prior to start of construction, verify design loads with governing codes and site conditions and check with local building agencies for wind, seismic, snow and other special loading conditions. Architect shall be notified of all discrepancies according to Section A.I. (see above)

F. The basement plan included herein is not an engineered foundation plan. The engineered foundation design is prepared separately for each site by a Colorado registered Structural Engineer using guide-lines found in the soil report and actual field conditions. Contact the Structural Engineer for these documents.

SITE WORK

A. Builder shall be responsible for grading of site and lots.

B. Perform excavation according to good common construction practices to the lines, grades and elevations indicated on drawings.

C. Provide site preparation as specified by Soils Engineer.

D. Provide foundation drainage as specified by Soils Engineer and Builder (see Thermal and Moisture Protection).

E. Approved numbers or addresses should be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Temporary numbers shall be placed on the construction meter and on the front of the house at the time of rough inspections. Label construction meters with the approved address prior to calling for inspections.

CONCRETE

A. All structural concrete shall be designed and specified by consulting Structural Engineer.

B. Slope all concrete flatwork min. of 1/8" per foot (min.) to provide proper drainage.

C. Min. Frost depth is 36". Foundation frost protection must be provided at all below grade concrete, including column piers.

MASONRY

A. Brick veneer (if applicable): Provide standard units complying with ASTM C216, Grade SV. Type shall be specified by Builder. Brick veneer is to be attached with galvanized anchor ties at 24" o.c. min. vertically and horizontally and shall support no more than 2 sq. ft. of brick veneer (typical).

B. Mortar: Provide mortar type "n" in accordance with ASTM C270.

C. Brick flashing and weep holes required, per code.

D. Adhered concrete masonry veneer (ACMV) (flat and/or taut stone, etc.) shall comply per code. Anchored veneer masonry (large and cobble stone, brick, etc.) shall comply per code.

E. Verify that the veneer and its backing will provide a waterproof covering. Wall ties shall be corrosion resistant, 22 gage by 3/4" sheet metal or O-148 diameter wire. At least one tie shall be placed in each 2 sq. ft. of wall area with no tie spaced more than 24" horizontally. Artificial stone veneer must be installed per manufacturer's specifications and have an approved ICC evaluation report.

METALS

A. All structural steel shall comply with appropriate ASTM specifications, including ASTM A36, ASTM A53, ASTM A501, ASTM A507, and ASTM C325.

WOOD AND PLASTICS

A. Lumber shall in addition to complying with governing codes, comply with:

- "Product Use Manual" of the Western Woods Products Association for selection and use of products included in that manual.
- "Plywood Specification and Grade Guide" of the American Plywood Association.
- "Standard Specifications for Grades of California Redwood Lumber" of the Redwood Inspection Bureau for Redwood, when used.
- Protection of wood and wood based products from decay shall be provided in the following locations by the use of naturally

durable wood or wood that is preservative-treated in accordance with ANPA UI for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of ANPA UI.

- Wood joists or the bottom of a wood structural floor when closer than 18 inches or wood girders when closer than 12 inches To the exposed ground in crawl spaces or unexcavated area located within the periphery of the building foundation.
- All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
- Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground unless separated from such slab by an impervious moisture barrier.
- The ends of wood girders entering exterior masonry or concrete walls having clearances of less than 1/2 inch on tops, sides and ends.
- Wood siding, sheathing and wall framing on the exterior of a building having a clearance of less than 6 inches from the ground or less than 2 inches measured vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surfaces exposed to the weather.
- Wood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
- Wood framing strips or other wood framing members attached directly to the interior of exterior masonry walls or concrete walls below grade except where an approved vapor retarder is applied between the wall and the framing strips or framing members.

B. Provide lumber and materials meeting or exceeding the following standards of quality:

- See structural drawings for framing lumber and structural sheathing design values and requirements.
- All headers and beams shall be free from splits and shakes.
- Ceiling joists are designed for NO attic storage unless noted otherwise.

4. Rough hardware:

- Comply with ASTM A17 or ASTM A36
- Use galvanized at exterior locations.

C. All engineered wood products shall be handled and installed in strict accordance with the manufacturer's specifications/recommendations.

D. Provide wood trusses able to sustain the stated loads for all spans, profiles and arrangement shown on drawings. Truss layout is schematic only. Truss manufacturer and/or engineer shall be responsible for the design (including spacing) of all trusses and shall submit shop drawings (sealed by a registered engineer) for approval by Builder.

E. All wood plates bearing on concrete or masonry shall be decay-resistant as required by governing codes.

- Top plate splices to be 24" min. offset.
- Interior trim shall be specified by Builder.
- Provide solid wood blocking in floor system where concentrated loads occur so as to transfer load to framed wall, beam, header or foundation wall below.
- Exterior deck lumber shall be decay-resistant and shall be specified by Builder.

STEEL PROTECTION

Definition is 1 riser, checked for 1/4" maximum grade at riser, landing, etc.

A. The maximum riser height shall be T 3/4". This dimension will be measured from top of threshold down to next tread. This dimension shall be also measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8" (maximum tolerable variance).

- T 3/4" maximum drop out of door measured from top of threshold, not adjacent floor. 1/2" maximum height threshold from floor level.
- Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere when the total rise of the stairs is over 30".
- Exterior concrete stairs not to exceed T 3/4" maximum when tread slopes the allowable 1/4" maximum by placing level on the back of upper tread and level out to next lower tread noting then measure down.
- Stairs can not end at sloped sidewalk or driveway.
- Non required exterior exit door can go out to one step then to landing.

B. The minimum tread depth shall be 10". The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the treads leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8"

- Nosing required at treads with closed risers (unless tread is 11" minimum) nosing to be 3/4" min to 1 1/4" max.
- Slope of tread not to exceed 1/4" from back to front.
- Minder treads shall have a minimum depth of 10" from the walkline (12" from inside curve of stair) with 6" minimum tread depth along any point.

C. Handrails/Guardrails

- Handrails should not project more than 4 1/2" into the each side of the required width. Handrails projecting from a wall should have a space of not less than 1 1/2" between the wall and the handrail.
- Handrail height shall be 34" min to 38" max measured from nosing.
- The handgrip portion of handrails should not be less than 1 1/4" nor more than 2" in cross-sectional dimension or the shape should provide an equivalent gripping surface. The handgrip portion should have a smooth surface with no sharp corners.
- Guardrails shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30" measured vertically to the floor or grade below at any point with 36" horizontally to the edge of the open side. Guardrails shall be 36" in ht. Guards on open side of stairs shall be not less than 34", guards shall not have openings that allow passage of a 4" sphere. Triangular area formed by stair, riser tread and rail shall not allow passage of a 6" sphere.
- Stairways shall not be less than 36" in clear width at all points above the permitted handrail height and below the required hand landing height. Below the handrail height, including treads and landings, stair width shall not be less than 31 1/2" where a handrail is installed on one side and 27" where handrails are provided on both sides.
- Minimum headroom in all parts of the stairway shall be not less than 6 ft 8 in, measured from the nosing.

HERMAL AND MOISTURE PROTECTION

A. Foundation moisture protection

- Damp proof foundation walls per R406.1, 406.2 as specified by Builder.
- Provide approved drainage system per R405 and as specified by Builder.
- Provide sump pit and pump where required as specified by Builder.

B. Provide thermal building insulation at assemblies adjacent to exterior or unheated spaces meeting the requirements of governing codes and, unless otherwise noted, meeting the following minimum requirements:

MINIMUMS PER THE "PRESCRIPTIVE METHOD" OUTLINED IN THE IRC/IECC. IF "PERFORMANCE METHOD" IS USED, THE WORST CASE ENERGY REPORT IS REFERENCED.

- Wood Frame wall: R-19+5"ht INSUL. SHEATHING
 - Ceiling: R-54
 - NOT USED
 - Floor: R-42 or fill cavity (unheated areas/cantilevers)
 - Crown Space Walls: R-15/20
 - Basement walls: R-15/20
 - Rim joist/box sills: R-20
 - Attic Knee Walls: R-20
 - Slab: R-15, depth of 3 ft.
- Window and Door Assembly Thermal Transmittance,* Fenestration U-Factor .30,

C. Install vapor barrier and air infiltration barrier as specified by Builder.

- Weather barrier required behind lap siding.
- Vapor barriers shall only be placed on the warm side of insulated assemblies.
- 6-mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete floor slab and the base course of the prepared subgrade.
- Roofing shall be as specified by Builder as noted on drawings.
- Siding (if applicable) shall be selected by owner/Builder. Siding materials as noted on drawings as specified with 6" (min.) clearance above finished grade.
- Provide approved corrosion-resistant flashing per T09.8 to prevent entry of water to the buildings structural components, flashing should be installed in the following locations:
 - Exterior window and door openings.
 - Intersections of chimneys or other masonry construction with frame or stucco walls.
 - Under and at the ends of masonry, wood or metal copings and sills.
 - Continuously above all projecting wood trim.
 - Where ext. porches, decks, stairs attach to a floor/wall assembly of wood-frame construction.
 - At wall and roof intersections.
 - At built-in gutters.
- Provide gutters as specified by Builder and/or as per details. Downspout and splash locations shall be determined by contractor (and approved by Builder) so as to provide positive roof and site drainage.
- Provide attic and roof ventilation as specified by Builder. Provide frost-proof hose bibs where designated on floor plan.
- All supply and return air ducts in crawl spaces need to be insulated unless there is conditioned air in crawl space, N102.17
- All roof drains to have down spout extensions 3"-5" minimum away from the building.
- Provide cross ventilation in the crawl space per code.

DOORS AND WINDOWS

A. Doors

- Glazing in doors and sidelights shall be per energy report.
- Glazing in doors and sidelights shall be tempered glass as req. by governing codes.
- Exit doors from individual dwellings units shall be readily operable from the inside without the use of a key or any special knowledge or effort.
- Exit doorways shall be sized to permit the installation of a door not less than 3' wide and not less than 6'-8" high in all locations.
- A floor or landing shall be provided at each side of a door. A maximum drop of T 3/4" on exterior side is allowed provided the door does not swing over drop, 36" min in direction of travel per R310.1
- Openings between the garage and residence shall be not less than 1 1/8 inches in thickness, solid or honeycomb-core steel doors not less than 1 1/8 inches thick, or 20 minute Fire-rated doors, equipped with a self-closing device per R502.5.1

B. Windows

- Provide windows as follows OR as specified by Builder:
 - Living levels: as specified by builder
 - Basement level: as specified by builder with 44" (max.) depth below grade (window well) and 44" (max) a.f.f. measured to bottom of clear opening per R310.1
- Provide units of the size, style and quantity shown on drawings.
- Glazing shall be double-pane insulating glass or as required by energy report.
- Provide tempered glass in all hazardous location as required per section R308 including:
 - glazing in doors (see exceptions)
 - glazing adjacent to doors-glazing in an individual fixed or operable panel adjacent to a door shall be considered a hazardous location where the bottom exposed edge of the glazing is less than 60" above the floor or walking surface and meets the following:
 - glazing within 24" of either side of the door (parallel)
 - glazing on a wall perpendicular to the plane of a door within 24" of the hinge side of an in-swing door. (see exceptions)
 - Exposed area of individual pane larger than 4 sq.ft.
 - Bottom edge of glazing is less than 18" above the floor.
 - Top edge of glazing is more than 36" above the floor AND,
 - 6, one or more walking surfaces are within 36" of glazing.
- All glazing in garages and railings.
- Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface and within 60" horizontally from the edge of the tub
- Glazing where the bottom exposed edge of the glazing is less than 36" above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps.
- Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within a 60 inch horizontal arc less than 180 degrees from the bottom of the tread.
- Egress window min area is 5.7 sq.ft. Min net ht. 24", width 20", ground floor permitted to be 5 sq.ft. with a max sill ht. of 44" above the

FLOOR.

1. Any window where the operable bottom portion of the opening is less than 24" and the ground/surface below is greater than 12" then the window must not allow a 4" diameter sphere to pass OR it must be fitted with a self-acting window opening limiting device as per code.

C. Finish hardware shall be specified by Builder. Install all hardware required by governing codes.

D. Skylights (glass) should comply per code. Plastic skylights are allowed per code.

E. Doors and panels of shower and bathtub enclosures and windows near tubs should be fully tempered, laminated safety glass or approved plastic and should comply per code. Shower compartment egress shall be a minimum of 22" per P2708.11 IRC 2015

F. Habitable rooms should be provided with natural light from glazed openings equal to 8 percent of the floor area and natural ventilation from openings equal to 4 percent of the floor area, unless provided with whole house mechanical ventilation system and artificial light per R309

FINISHES

A. Gypsum Panels

- Gypsum panels, unless otherwise noted, shall be provided as follows:
 - Exterior wall: typ. 1-layer 1/2" regular panels to interior face.
 - Interior partitions: 1-layer 1/2" regular panels each side.
 - Ceiling: 1-layer 5/8" regular panels when supporting members are greater than 16'o.c. and 1/2" regular panels when supporting members are 16'o.c. or less.
 - RE: Applicable Fire Protection building codes.
 - Baths: Water-resistant panels at all walls and ceilings surrounding tubs and showers and as required by governing codes. All fixture penetrations are to be fully sealed.
 - Common walls (end use): (1) 1" gypsum liner panels (rated). See drawings for construction assemblies.
 - Floor assemblies, not required elsewhere in this code to be fire-resistance rated, shall be provided with a 1/2-inch gypsum wallboard membrane, 5/8-inch wood structural panel membrane, or equivalent on the underside of the floor
 - Framing member: R503.3
- Provide metal corner and trim at all locations shown on drawings and as recommended by gypsum wallboard manufacturer.
- Tape, float and sand joints and fasteners of gypsum wallboard with 3-coats of joint compound as required to obtain a uniformly smooth surface.
- Water-resistant gypsum backing board should not be used in the following locations:
 - Over a vapor retarder.
 - In areas subject to continuous high humidity.
 - On ceilings where framing exceeds 12" on center.

B. Finishes shown on drawings shall be specified by Builder.

- All shower and tub/shower combo walls should be finished with a hard, non absorbent tile to the ceiling with materials that are classified as non-absorbent.
- All shower enclosures will be 80" tall, unless noted otherwise on drawings.
- Hardboard lap siding (if applicable to project) shall be installed in accordance with the manufacturer's listing and associated ICC evaluation services report for generic applications (the most restrictive provisions shall apply). Please note that an approved weather barrier is required under most exterior wall finishes. ALL WAGONITE AND FIBER CEMENT HORIZONTAL LAP SIDING WILL REQUIRE THE USE OF AN APPROVED WEATHER BARRIER INSTALLED OVER EXTERIOR WALL SHEATHING.
- All timber boards to be 1 x 6's, 1 x 8's and 1 x 2's on inside corners. (typically 1 x 6 verticals and 1 x 8 horizontals).
- E.I.F.S. (EXTERIOR INSULATION FINISH SYSTEM if applicable to project)
 - All components of EIFS shall be supplied and installed by the same subcontractor.
 - Unless noted otherwise, all EIFS foam thickness shall be 1" min.
 - Insulation board (EPS) shall be molded, expanded polystyrene foam with a nominal density of 1.0 PCF.
 - Finish texture shall be "free style" with integral color.

F. Conventional stucco over wood (if applicable to project) should always be applied as a three-coat system consisting of a scratch coat, brown coat, and finish coat. The scratch coat must be scored horizontally on vertical surfaces. The weather resistant barrier (WRB) must be installed per Section R702.1. Lathing shall be self-tying/furred out from solid bases and comply with ASTM C1063. Control joints (expansion and contraction) shall be installed in walls to delineate areas not more than 144 ft. on vertical surfaces and 100 sq. ft. on horizontal surfaces. The distance between control joints shall not exceed 18 feet, in either direction, or exceed length-to-width ratio of 2+1/2 to 1. The ASTM standard requires the paper to be installed, continuous, behind the joint material and that lath shall not be continuous through control joints, but shall be stopped and fastened on each side of the control joint. All accessories must be installed to receive a minimum 7/8 inch application for a three-coat system over wood. In wood-frame construction, accent features (fom, accent strips, banding, and trim) should be installed over the brown coat, using adhesive and minimum fasteners penetrating the stucco. Control joints shall be installed per ASTM Standard 1063-06 section 7.11.5.

SPECIALTIES

A. Fireplaces shall be pre-manufactured gas, direct or top vent as shown on drawings.

- Contractor(s) shall be responsible for proper installation of fireplace unit, venting hearth matting and related components as recommended by manufacturer and as required by governing codes.
- Gas fireplaces (if used) shall be installed in accordance with their listing and all gas outlets shall be controlled by an approved operating valve located in the same room, outside the hearth but no more than 3' from such outlets as per code.
- Details for the fireplace and installation instructions must be on site to verify clearances (Manufacturer, Make, Model, Unit should be listed) per section M302.1 All subject to verification at time of field inspection.

ROOFS

A. Asphalt shingles (if applicable) shall be installed in accordance with the manufacturer's recommendations. Asphalt shingles also need to meet ASTM D 3661 modified to use the wind speed. Verify that the materials selected conform with the subdivision site development plan.

B. Roofing tiles (if applicable) must comply with ASTM C 1167. Tiles will be approved when provided with an ICC Evaluation report. Installation shall be in accordance with the manufacturer's installation instructions for high wind provisions.

C. An attic access opening (minimum 22" by 30") should be provided with a minimum clear headroom of 30" and a attic light. This is required for all enclosed attics with a headroom of at least 50".

MECHANICAL

B. General:

- Equipment and fixtures shall be specified by Builder.
- Design and installation of equipment shall be the responsibility of the appropriate licensed contractors.
- Nail plates required when plumbing pipes are within 1/2" from surface - required for gas piping within 1" of surface.

B. Plumbing:

- Plumbing rough-in shall be provided to washer box for clothes

WASHER.

1. Provide gas lines and valves when optional gas dryer and/or range are specified.

2. Each water closet stool should have a minimum 15 inches of side clearance from its center line to a finished wall or bathtub or similar obstruction and have a minimum clear space in front of the water closet stool of not less than 21".

4. Plumbing vents need to be graded to drain.

5. Floor drains shall be fitted with a trap primer or shall be deep seal.

6. All water heaters require pans when on wood floors.

7. All plumbing vents need to extend out of roof 12" minimum.

8. Provide protection against freezing per P2609.6, IRC 2015

9. The shower compartment access and egress opening minimum width is 22" per P2708.11, IRC 2015

C. Heating

1. Furnaces, gas forced air, Water Heaters, power vented (or sealed combustion) per builder specs, these appliances do not require secondary combustion air.

- All HVAC equipment shall be individually switched.
- Dryer vent shall be extended to exterior weather hood. Dryer ducts shall be 4" minimum diameter, 35' in length maximum (The maximum length of the duct shall be reduced 2' for each 40 degree bend and 5' for each 90 degree bend). The maximum length does not include the transition duct. Ducts shall have smooth interior surfaces and be constructed of metal. Exhaust ducts shall terminate not less than 3 feet in any direction from openings (fixed or operable) into the building. Laundry rooms placed in the interior of the structure may not meet these prescriptive requirements. Be advised that any duct proposed shall be the length permitted by the code but be designed and sealed by a Colorado registered professional engineer. Provide a permanent dryer duct identification label or tag stating the effective length of the duct concealed in the construction for dryer selection to meet that distance, per M1502.4.5
- Fire stop all flues.
- 1/4" x 1/2" screening required for combustion air openings.
- Combustion air openings to have low side of opening at least 12" above grade.
- Provide combustion air per code.
- Provide 1" minimum clearance between Type B vents and combustible materials. Use non-combustible fireblocking when penetrating floors and ceilings.

9. Kitchen Ventilation: All dwelling units with a kitchen shall be provided with a ducted range hood that discharges to the outdoors at 100CFM intermittent or 25CFM continuous. Kitchen exhaust capable of exhausting in excess of 400CFM shall be provided with make-up air at the same rate of the exhaust.

10. Air exhaust openings shall terminate not less than 3 feet from operable and non-operable openings into the building and 10' from mech air intakes unless 3' above, per M1506.2

11. Whole house mechanical ventilation system shall be installed in accordance with section M1507.3, a continuously running fan shall be installed. For 2-3 bedrooms (4500sf), 45cfm For 2-3 bedrooms, 1501-3000 s.f., 60cfm for bedrooms 4-5, 1500-3000 s.f., 75 cfm is required per table M1507.3.3(1)

ELECTRICAL (2017 NEC, see E sheets for more information)

A. General:

- Information and layouts shown on drawings are only schematic in design and shall be reviewed by contractors, suppliers and building officials for compliance with governing codes and good common construction practices.
- Locations of outlets, switches, pipes, wires, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels, with non combustible materials.
- Equipment and fixtures shall be specified by Builder.
- Installation of equip't. shall be the responsibility of the appropriate licensed contractors.
- All electrical code requirements and local amendments should be observed including, but not limited to, crawlspace and attic, two spare circuits in unfinished basements, an additional 2 spare slots in the panel, and that the required smoke detectors are wired together and sound simultaneously when activated.
- Service panel shall be minimum 200 amp, 40 circuit. (Verify with Builder)
- The grounding electrode system shall include an electrode encased by at least 2" of concrete, located within and near the bottom of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 20 ft of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 1/2" dia. or consisting of at least 20 ft bare copper conductor not smaller than No. 2. Article 250-81(C)
- Provide and install ground-fault circuit-interrupters (GFCI) as req'd by the NEC and meeting the requirements of all governing codes, including but not limited to Bathrooms, Garages, Accessory buildings with floors at or below grade that are not intended as habitable rooms, outdoors, except where receptacles on dedicated circuits, are not readily accessible, and are used to supply snowmelt, deicing, or pipeline and vessel heating equipment, crawl spaces, unfinished basements, unless the receptacle is on a dedicated circuit and used to supply a burglar alarm, kitchens where the receptacles serve countertop surfaces, where a receptacle is within 6 ft. of sinks in other than kitchens, where receptacles are installed within 6 ft. of the outside edge of bathtub and shower stalls, laundry areas.
- Bathroom exhaust fans are to be vented to the exterior and shall provide min. 50 CFM intermittently or 20CFM continuously.
- Branch circuits serving habitable spaces shall be ARC fault protects (IRC E3402.12)
- When slab basement floors are used, a continuously running fan shall be installed in the laundry room or powder room/bathroom space.
- A minimum of 75% of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75% of the permanently installed lighting fixtures shall only contain high-efficacy lamps, per section N1004.1
- All smoke detectors & carbon monoxide detectors shall be interconnected to provide alarm which will be audible in sleeping areas. Detectors must receive power from 120 volt building wiring with battery backup. CO detectors are required to be installed outside sleeping areas in immediate vicinity of bedrooms. Smoke alarms are required to be located within each sleeping room, outside each sleeping area in immediate vicinity, on each story, and within 3' of a bathroom containing a tub/shower. CO detectors are required to be installed in bedrooms where a fuel burning appliance is located or in its attached bathroom. Section R314.4R315
- Kitchen counter top receptacles should be supplied by no less than two small appliance branch circuits. Receptacle outlets installed to serve kitchen countertop areas of dwelling units shall be installed so that there is a maximum horizontal distance of 24" from any point in the wall to a receptacle. Receptacles are required on any wall counter space 12' or

wider. Countertop spaces separated by range tops, refrigerators, or sinks shall be considered separate countertop spaces requiring at least one outlet. Receptacles which serve a countertop located within a kitchen shall be GFCI protected.

K. Bathrooms require GFCI outlets to be installed within 36" of EACH BASIN. Bathrooms must have dedicated GFCI circuit with 20 amp breaker and min. #12 wire.

L. Receptacles in garages shall be GFCI protected unless they are single outlets for dedicated appliances only.

M. Receptacles in unfinished basements and crawl spaces at or below ground level require GFCI protection.

N. Outdoor receptacles shall be provided in single-family dwelling units at both the FRONT AND BACK of the dwelling. Outdoor receptacles require GFCI protection.

O. Hallways of 10' or more in length shall have at least one receptacle outlet.

P. Light fixtures located in any clothes closet shall comply with the spacing provisions per code.

Q. At least one wall switch-controlled lighting outlet shall be installed in bathrooms, hallways, stairways, attached garages, at outdoor exits and in all habitable rooms.

R. Electrical switches shall not be concealed (such as behind doors) and shall be so located that they may be operated from a readily accessible place.

S. 220 Volt outlets used for ranges, dryers, etc. shall be wired with 4 conductor romex or equivalent. Grounding of frames to the neutral or grounded circuit conductor is no longer permitted.

T. Bends in type NM, NMC, and NMS cable shall be made so that the radius of the curve of the inner edge of any bend shall not be less than 5 times the diameter of the cable.

U. Tamper-Resistant Receptacles: Listed tamper resistant receptacles are required for all 125-volt outlets in dwelling units, on the outside of dwelling units and in attached and detached garages.

V. GFCI outlet for dishwasher may not be located behind the dishwasher. Article 210.52(B)(1), NEC Flexible cord for dishwasher may not be longer than 6.5 ft. Article 422.16(B)(2) NEC

W. All receptacle outlets located in a laundry area must be GFCI protected. Article 210.8(A)(10), NEC

X. In both attached and detached garages with electric power there must be at least one receptacle outlet, or there must be at least one receptacle outlet installed for each car space. Article 210.52(5)(1), NEC

Y. Light fixtures in crawl spaces must be GFCI protected. Article 210.8(E), NEC

FIRE PROTECTION

A. Horizontal separation (garage ceiling) should be supported with a structural system (beams and columns) having equivalent fire-resistive protection. Provide 5/8" Type "X" GWB minimum on all surfaces common to the house on the ceilings that have living space above. 1/2" dry wall (or 5/8" Type "X" GWB per community requirements) will be required on the walls. Vertical occupancy separations shall be continuous to the underside of the roof deck or connecting to the horizontal separation. Ensure that all structural components (including entire bearing walls, if used to support horizontal components) used to support the horizontal portion of the occupancy separation are completely covered with 1/2" GWB (or 5/8" Type "X" GWB per community req.)

21. Doors located within fire resistive separations shall be either 20 minute rated or 1-3/8" solid wood, light-fitting and self closing.

B. RE: Stair Construction (RE: Applicable Fire Protection building codes)

C. Fire stopping should comply per code.

- In concealed spaces of stud walls and partitions, including furred spaces, at 10' intervals, along the length of the wall
- All interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and covered ceilings.
- In concealed spaces between stair stringers at the top and bottom of the run and between studs and girders in line with the run of stairs if the wall runs the full height of the stairs is unfinished.
- In openings around vents, pipes, wires, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels, with non combustible materials.

D. Provide ladders in required egress window wells with a vertical depth greater than 44".

E. Mixed occupancies are present: A separation is required between the house portion and the garage. This separation may be constructed in accordance with code.

F. An escape and rescue window shall be provided in each bedroom and in the basement. The minimum net clear opening shall be 5.7 s.f. with a minimum width of 20", a minimum height of 24" and a sill height no greater than 44". The window shall be operable without the use of separate tools.

G. Each rescue window located below grade shall be provided with a window well with 4 s.f. minimum area and no dimension less than 36". Window wells with a vertical depth of more than 44" shall be provided with a ladder or stairs with a 6" maximum encroachment into the required dimensions.

H. Enclosed unusable space under interior stairways should be protected (walls and ceiling) on the enclosed side with 1/2" drywall.

I. Insulation and its facing should comply with code for flame spread and smoke, or must be completely covered.

J. Interior finish shall have a maximum flame spread classification as required per code. Verify that all finishes have a flame spread classification of no greater than 200 and smoke developed index of no greater than 450.

K. Floor assemblies not required elsewhere to be fire-resistance rated, shall be provided with 1/2" gypsum wall board membrane or equiv. on the underside of the floor framing member. Penetrations or openings for ducts, vents, electrical outlets, lighting, wires, drainage, piping and similar openings or penetrations shall be permitted. See R502.13 for exceptions.

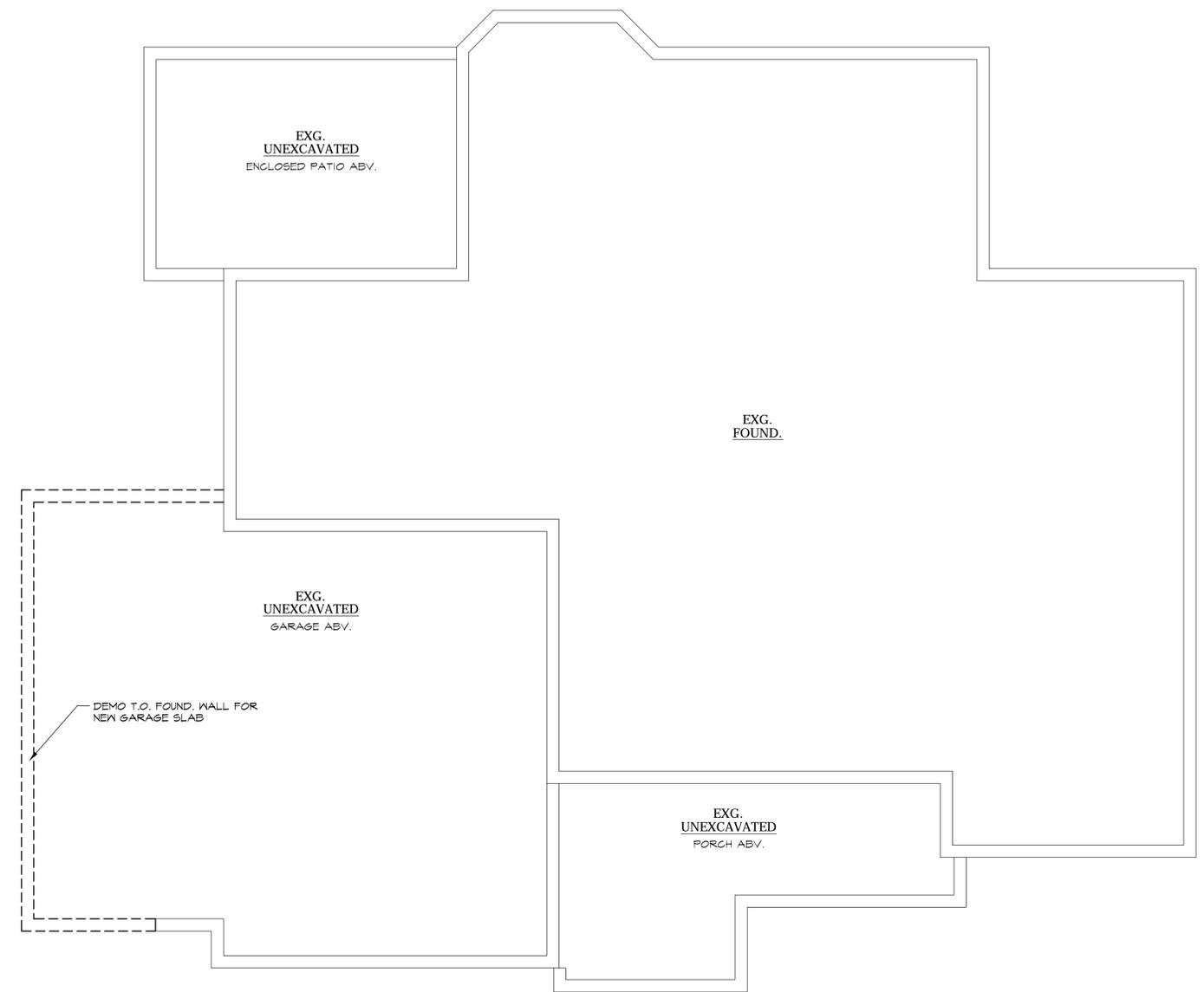
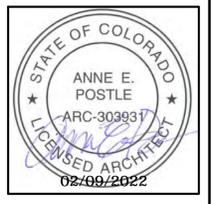
NOTICE "BUILDERS PLANS"

THE CONTRACTOR WARRANTS TO THE ARCHITECT THAT HE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTORS SOP

- - - - DEMO
 _____ EXISTING TO REMAIN
 // // // // FILL IN OPENING

OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. REMAIN OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

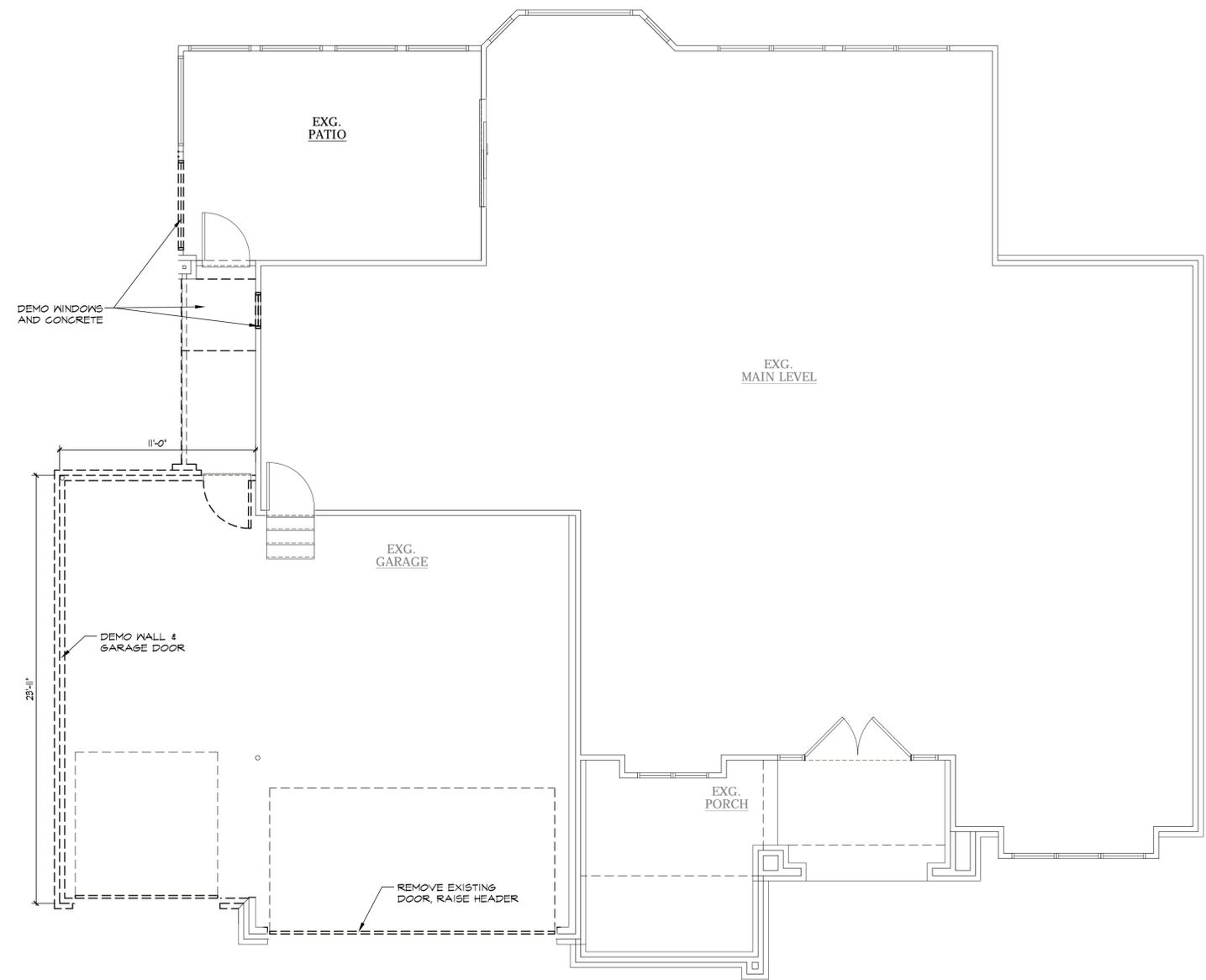
NO.	REVISION TITLE	DATE

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

1
A-01 DEMO FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

A-0.1

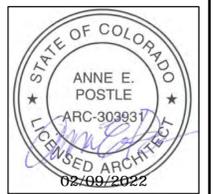
- - - - DEMO
 ———— EXISTING TO REMAIN
 // // // // FILL IN OPENING



1
A-0.2
DEMO MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. OR OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



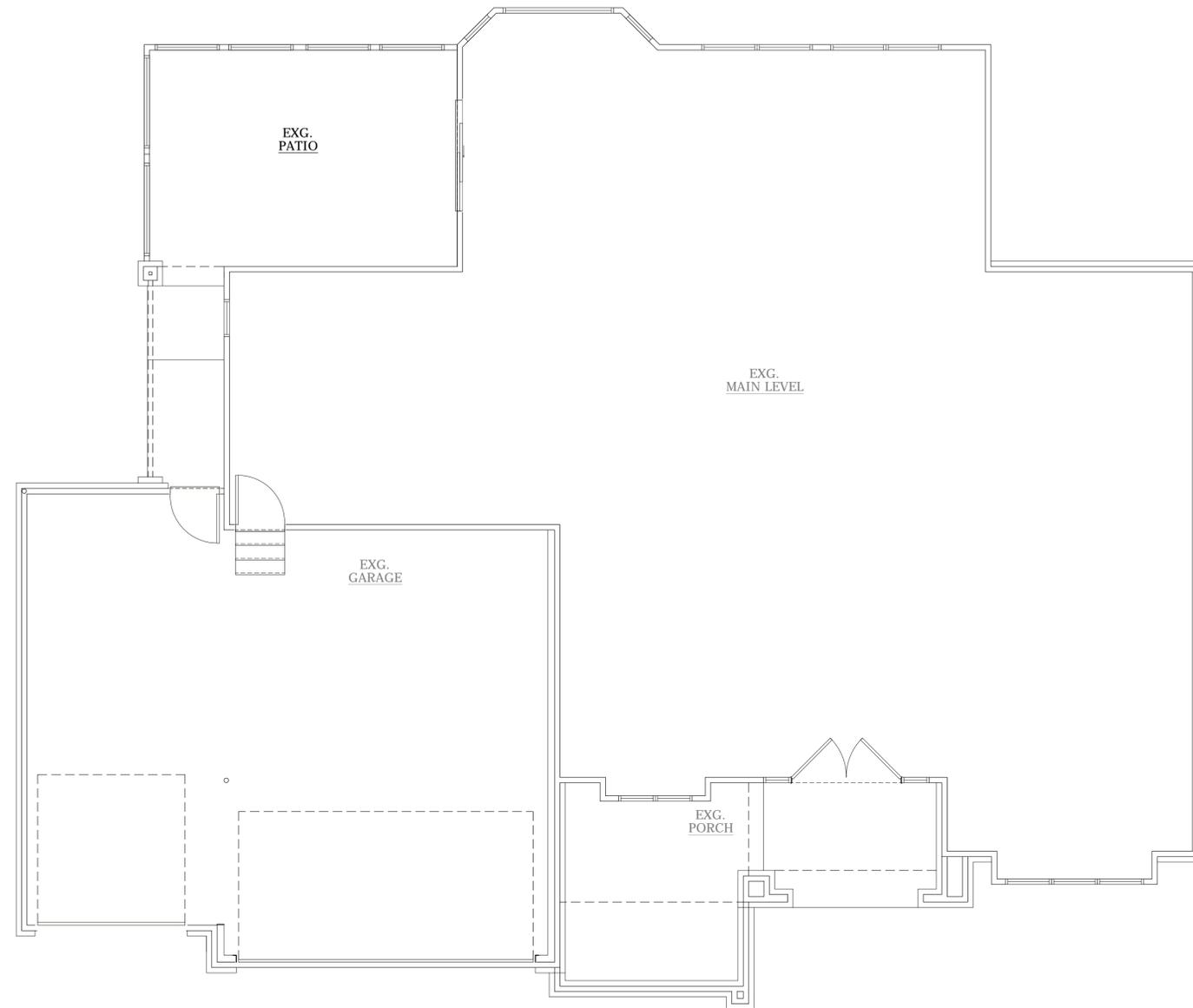
ORIGINAL ISSUE: _____ DATE: _____
 PERMIT: _____ 2/9/2022

CURRENT/REVISION ISSUE: _____ DATE: _____
 2/9/2022 2/9/2022

NO.	REVISION TITLE	DATE

JOB #: 21028
 DRAWN: TJH/KMK
 CHECKED: AEP

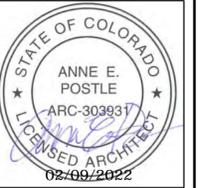
A-0.2



AS-BUILT MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

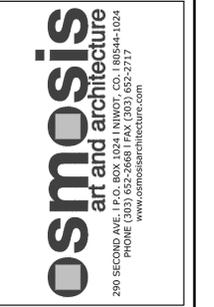
OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOsis ARCHITECTURE, INC. OR AN OSMOsis ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOsis ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE AUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

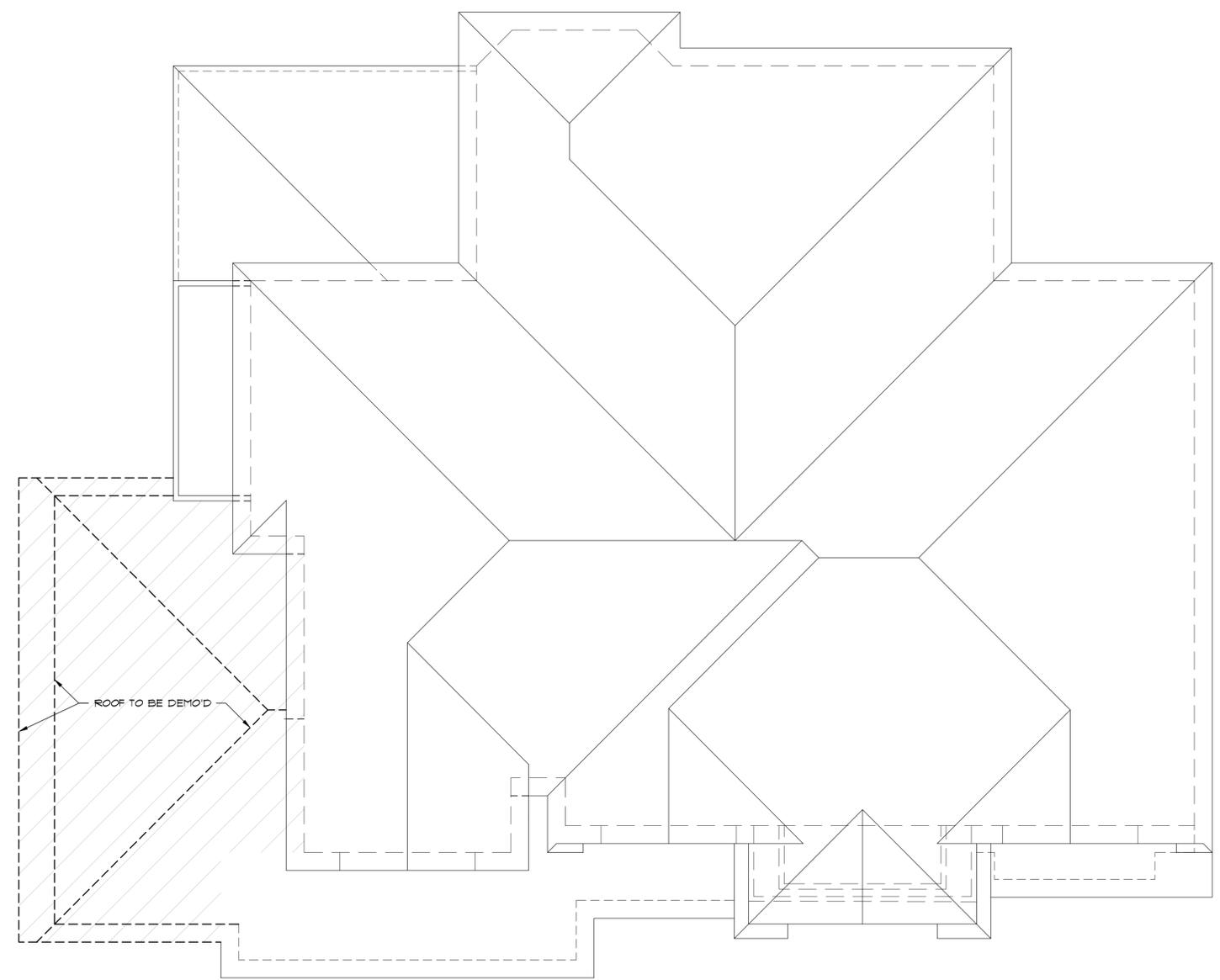
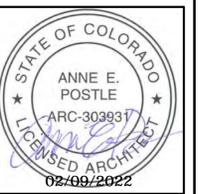
NO.	REVISION TITLE:	DATE:

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

A-0.2A

- - - - DEMO
 _____ EXISTING TO REMAIN
 // // // // FILL IN OPENING

OWNERSHIP OF DOCUMENTS AND DESIGNS: ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. REMAIN OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

NO.	REVISION TITLE	DATE

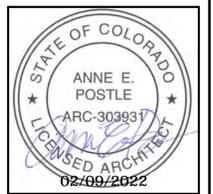
JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"

A-0.3

- - - - DEMO
 ———— EXISTING TO REMAIN
 ▨▨▨▨ FILL IN OPENING

OWNERSHIP OF DOCUMENTS AND DESIGNS: ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503
© osmosis architecture 2022



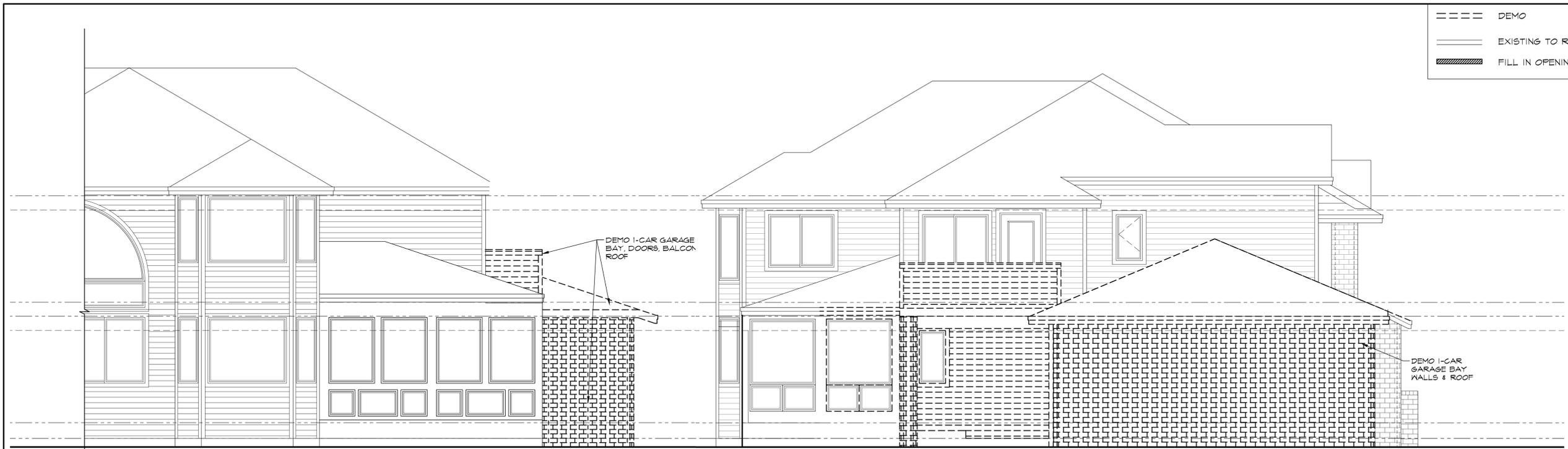
ORIGINAL ISSUE: DATE:
 PERMIT: 2/9/2022

CURRENT/REVISION ISSUE: DATE:
 2/9/2022 2/9/2022

NO.	REVISION TITLE	DATE

JOB #: 21028
 DRAWN: TJH/KMK
 CHECKED: AEP

A-0.4



3 DEMO REAR ELEVATION
SCALE: 1/4" = 1'-0"

2 DEMO LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



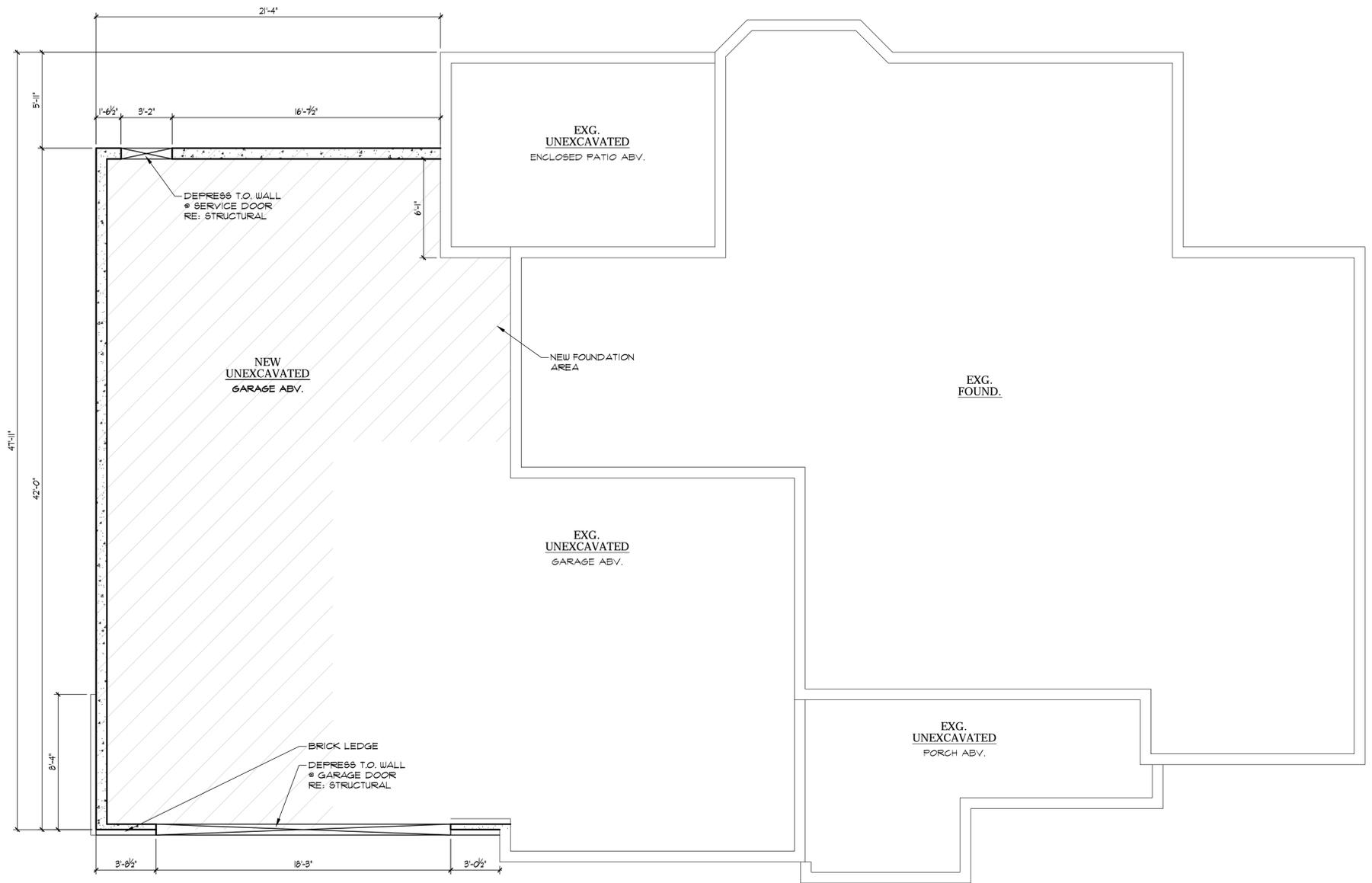
1 DEMO FRONT ELEVATION
SCALE: 1/4" = 1'-0"

DEMO 1-CAR GARAGE BAY, DOORS, BALCON ROOF

DEMO 1-CAR GARAGE BAY WALLS & ROOF

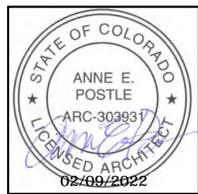
DEMO 1-CAR GARAGE BAY, DOOR & ROOF

DEMO 2-CAR GARAGE DOOR, RAISE HEADER



- LOWER LEVEL NOTES:**
1. THE LOWER LEVEL BASEMENT PLAN IS NOT CONSIDERED AS LIVING AREA (FINISHED BASEMENT PLANS ACCEPTED).
 2. GENERALLY ACCEPTED PRECAUTIONS FOR SLAB-ON-GRADE CONSTRUCTION WILL BE PROVIDED THE LOWER LEVEL WINDOWS CONSTITUTE 8% LIGHT.
 3. ESCAPE WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 S.F., MIN. HT. OF 24" & 20" MIN. WIDTH. FIN. SILL HT. SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. IF THE SILL HT IS BELOW THE ADJOINING FIN. GRADE, A WINDOW WELL MUST BE PROVIDED. THE WINDOW WELL MUST ALLOW FULL OPERABLE OF THE WINDOW HAVE A MIN. CLEAR AREA OF 9 S.F. & A MIN. CLEAR DIM. OF 36". IF THE WINDOW WELL IS OVER 44" DEEP, A PERM. STAIR OR LADDER MUST BE PROVIDED WHICH ALLOWS FULL OPERABLE OF WINDOW OR DOES NOT ENCROACH MORE THAN 6" INTO THE CLEAR AREA. PER CODE.
 4. FOOTINGS & FOUNDATIONS SHALL EXTEND BELOW FROST LINE (36"). FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE THE ADJACENT FINISHED GRADE. PER CODE.
 5. CRAWL SPACES MUST BE INSULATED W/INSULATION PER ENERGY CODE, AND CANTILEVERED FLOORS EXPOSED TO THE EXTERIOR MUST BE INSULATED PER CURRENT ENERGY CODE.
 6. STRUCTURAL WOOD UNDER-FLOOR AREAS MUST BE VENTILATED WITH A MECHANICAL VENTILATION SYSTEM CAPABLE OF EXHAUSTING A MIN. OF 5 AIR CHANGES PER HOUR. THE VENTILATION SYSTEM SHALL BE CONTROLLED BY AN APPROVED HUMIDISTAT. MAKEUP AIR SHALL BE PROVIDED IN THE SAME AMOUNT AS EXHAUSTED. AN APPROVED 10 MIL. MINIMUM GROUND VAPOR BARRIER (SEALED AT CRAWL WALLS, JOINTS AND OPENINGS) INSTALLED OVER GROUND UNDER STRUCTURAL BASEMENT FLOOR AND IN CRAWL SPACES.
 7. PROVIDE 1 S.F. per 150 S.F. CRAWL SPACE VENTILATION. LOCATE OPENINGS AS CLOSE TO CORNERS AS POSSIBLE TO PROVIDE CROSS VENTILATION. DISTRIBUTE OPENINGS ALONG THE LENGTH OF TWO OPPOSITE SIDES. COVER OPENINGS W/ CORROSION RESISTANT WIRE W/ MESH OPENINGS OF 1/4" IN DIM.
 8. PROVIDE MIN OF 18" CLEARANCE FROM UNDERSIDE OF JOISTS TO EARTH. PROVIDE MIN OF 12" CLEARANCE FROM UNDERSIDE OF BEAM TO EARTH.
 9. PER CODE GLAZING NEED NOT BE OPERABLE WHEN WHOLE HOUSE MECH VENT SYSTEM PROVIDES VENTILATED AIR AT A FLOW OF 15 CFM AND ARTIFICIAL LIGHTING IS CAPABLE OF PROVIDING 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" AFF.
 10. FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-IN. GYPSUM WALLBOARD MEMBRANE, 5/8-IN. WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. SEE CODE FOR EXCEPTIONS.

OWNERSHIP OF DOCUMENTS AND DESIGNS:
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. REMAIN OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
DATE OF COOPERATION:
RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

© osmosis architecture 2022
osmosis
art and architecture
290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
PHONE: 303-225-2171
WWW.OSMOISISARCHITECTURE.COM

ORIGINAL ISSUE: DATE:
PERMIT: 2/9/2022

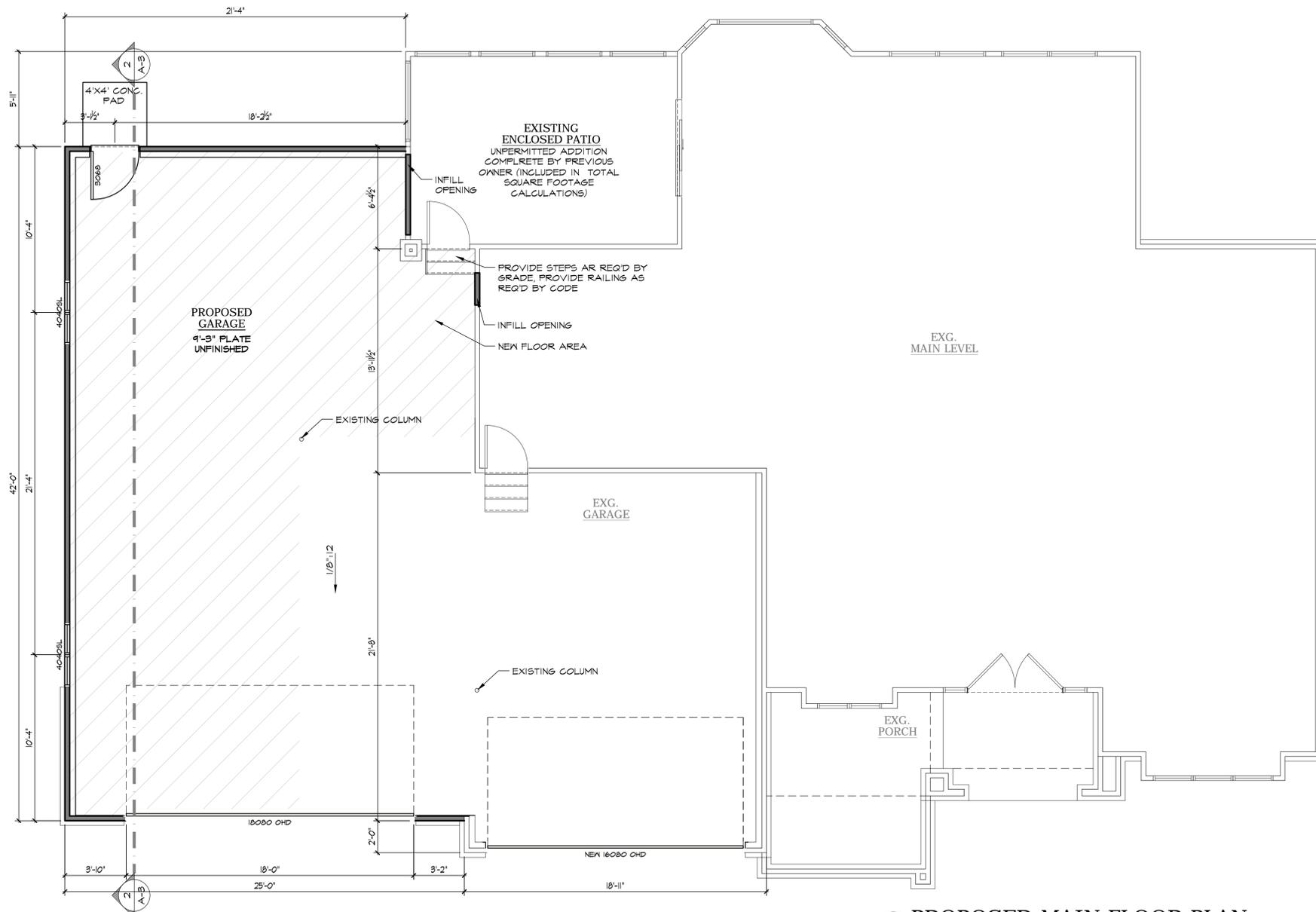
CURRENT/REVISION ISSUE: DATE:
2/9/2022 2/9/2022

NO.	REVISION TITLE:	DATE:

JOB #: 21028
DRAWN: TJH/KMK
CHECKED: AEP

PROPOSED FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

A-1.0

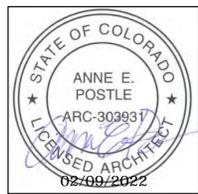


1
A-2.0
PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

- ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. SUCH BARRIER SHALL BE EQUAL TO THAT PROVIDED FOR WATERPROOF BUILDING PAPER OR ASPHALT-SATURATED FELT. IRC R703.1.2
- FIRE BLOCKS ARE REQUIRED WITHIN STUD WALLS AT 10' INTERVALS AND AT THE FLOOR AND CEILING. FIRE BLOCKS ARE ALSO REQ'D AT FLOOR AND CEILING PENETRATIONS AROUND VENTS, PIPES, DUCTS, ETC. THE INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (SOFFITS) BETWEEN STAIR STRINGERS, AND IN THE OPENINGS BETWEEN CHIMNEY CHASES AND ATTIC SPACES MUST BE FIRE STOPPED. FIRE BLOCKS MUST BE PROVIDED WITHIN UNFILLED SLEEPER-TYPE FLOOR SYSTEMS SO THAT NO AREA EXCEEDS 100 S.F. IRC 602.8. FIRE BLOCK MATERIAL MAY BE 2" NOMINAL LUMBER, GYP. BOARD, ETC., SECURELY FASTENED IN PLACE. LOOSE INSULATION IS NOT ACCEPTABLE. IRC 602.8
- LANDINGS ARE REQ'D ON BOTH SIDES OF EXTERIOR DOORS (MIN. 36" X 36"), INCLUDING THE OPERABLE SIDE OF SLIDING DOORS. THE LANDINGS MAY BE NO MORE THAN 7 3/4" BELOW THE THRESHOLD OF THE DOOR AS LONG AS THE DOOR DOES NOT SWING OVER THE LANDING. IRC R811.3
- DRYER VENT SHALL BE EXTENDED TO EXTERIOR WEATHER HOOD. DRYER DUCTS SHALL BE 4" MINIMUM DIAMETER, 35' IN LENGTH MAXIMUM (THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND. PER MIB02.4.5
- FIREPLACES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THESE INSTRUCTIONS MUST BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION AND THE MANUFACTURER MODEL AND LISTING NUMBER MUST BE SUBMITTED TO THE PERMIT FILE. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.
- SHOWERS AND TUB-SHOWER COMBOS MUST BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS ARE REQ'D AND MUST BE ADJUSTED PER THE MFG'S INSTRUCTIONS TO DELIVER A MAX MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT IS NOT CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION. SECTION 410.7, UPC.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH OPENS DIRECTLY INTO A YARD OR PUBLIC WAY. THE DOOR OR WINDOW SHALL BE OPERABLE FROM INSIDE TO PROVIDE A FULL CLEAR OPENING W/O USE OF SEPARATE TOOLS. ESCAPE WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQ. FT., A MIN. HT. OF 24" AND MIN. WIDTH OF 20". FINISHED SILL HT. SHALL NOT BE MORE THAN 44" TO BOTTOM OF CLEAR OPENING. EGRESS WINDOWS AT MAIN LEVEL IS ALLOWED TO BE 5 SQ.FT. WITH 20" MINIMUM WIDTH AND 24" MINIMUM HEIGHT.
- FRAMING MEMBERS CARRYING CEILINGS WITH WATER RESISTANT GYP. BD. SHALL BE A MAX OF 12" ON CENTER.
- ALL ANGLES OTHER THAN RIGHT ANGLES ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- ALL EXTERIOR WALL ARE 2X6 & INTERIOR WALLS ARE 2X4 UNLESS NOTED OTHERWISE.

OWNERSHIP OF DOCUMENTS AND DESIGNS:
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. OR OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
DATE OF COOPERATION:
RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503



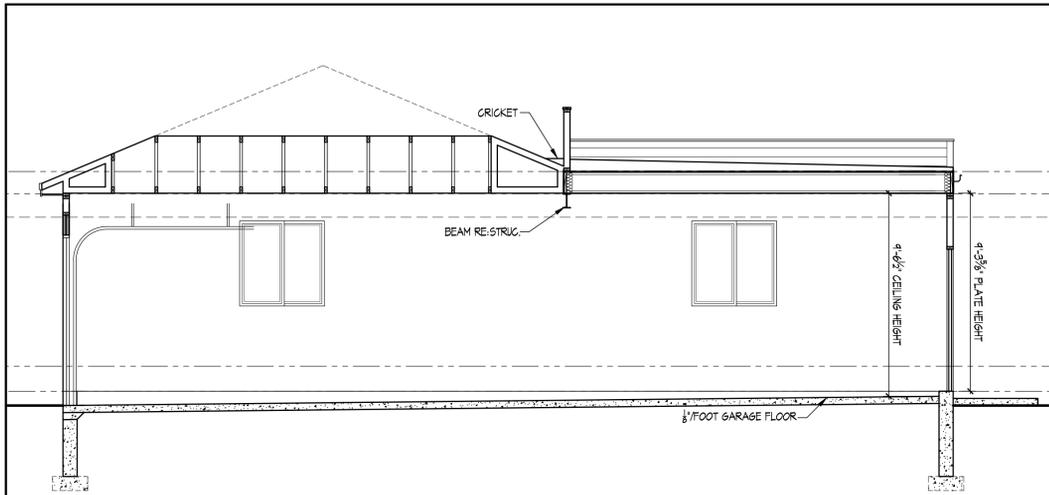
ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

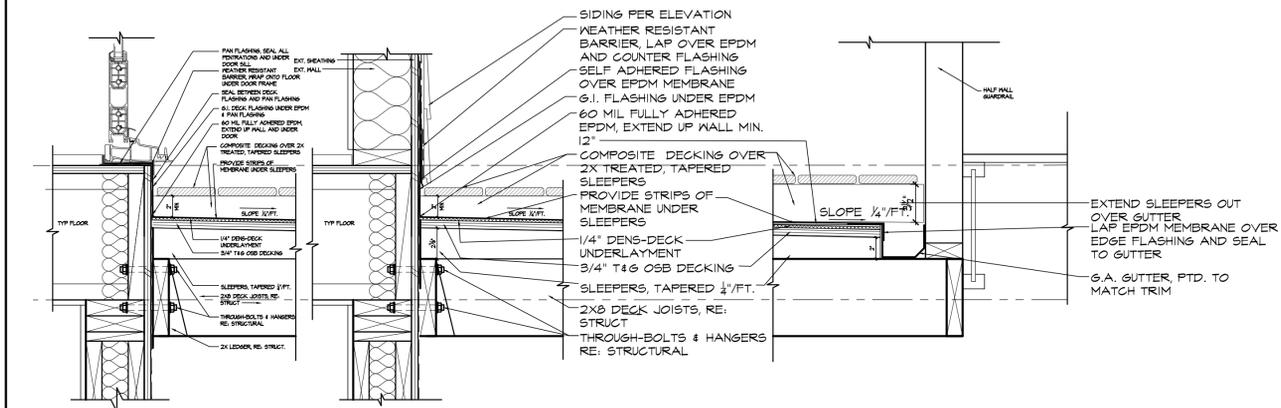
NO.	REVISION TITLE:	DATE:

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

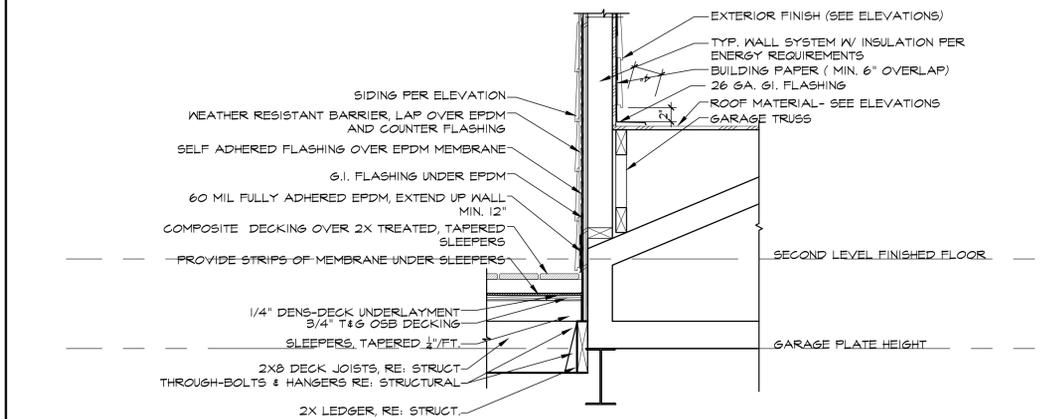
A-2.0



2 SECTION A-A
SCALE: 1/4" = 1'-0"



3 DECK DETAIL
SCALE: 1/2" = 1'-0"



4 DECK WALL DETAIL
SCALE: 1" = 1'-0"

REQUIRED ROOF VENT CALCULATION

ELEVATION	AREA TO VENT	VENTING RATIO	REQUIRED VENTING	EXHAUST (HIGH ROOF) VENTS REQUIRED (> 40% NOT TO EXCEED 50%)				INTAKE (LOW ROOF) VENTS REQUIRED (50%-60%)				CHECK	
				NET FREE AREA PER VENT	# OF VENTS @ > 40%	# OF VENTS @ < 50%	# OF RIDGE VENTS	REMAINING NFA REQ'D IN LOW ROOF	NET FREE AREA PER VENT	# OF VENTS @ REMAINING %	# OF LOW ROOF VENTS	TOTAL VENTING PROVIDED (> required)	% VENTING PROVIDED IN RIDGE (> 40 - < 50)
GARAGE ROOF AREA	1039	150	997 SQ. IN.	50.0	7.98	9.97	9	547.4	42	13.03	13	996	45.18

PER IRC, CHAPTER 8, SECTION R806.2, MINIMUM AREA

** ROOF PLAN SHOWS SOFFIT VENTS AND "TURTLE" ROOF VENTING. SEE ROOF NOTES FOR ASSUMED PRODUCTS USED FOR VENTING PURPOSES. IF DIFFERENT PRODUCTS ARE USED IT WILL BE THE BUILDER'S RESPONSIBILITY TO CORRECTLY CHOOSE PRODUCTS TO PROPERLY VENTILATE THE ROOF. BUILDER SHALL VERIFY NUMBER OF VENTS PROVIDED AND ADJUST # OF RIDGE VENTS AS NEEDED FOR CODE. NOTE, WHERE EXHAUST VENTILATION WOULD EXCEED 50%, ALTERNATIVE PRODUCTS MUST BE USED TO MINIMIZE EXHAUST RATES, PRODUCT SELECTION BY BUILDER

ROOF NOTES:

- DRAFTSTOP AS REQUIRED.
- PROVIDE MIN. 22"x30" ATTIC ACCESS WHERE INDICATED ON PLANS.
- PROVIDE HIP AND FLASHING PER MFG RECOMMENDATIONS.
- REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL ROOF FRAMING AND OTHER PERTINENT INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL INFORMATION CONTAINED WITHIN THE DRAWINGS PRIOR TO CONSTRUCTION.
- IF CONTINUOUS SOFFIT VENTS ARE PROVIDED AT ALL EAVES, ASSUMED NET FREE AREA = 5 SQ. IN. / LINEAR FOOT. SEE ROOF PLANS FOR PRODUCTS.
- PROVIDE 5" GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS IN A LOCATION TO PROVIDE POSITIVE ROOF & SITE DRAINAGE.

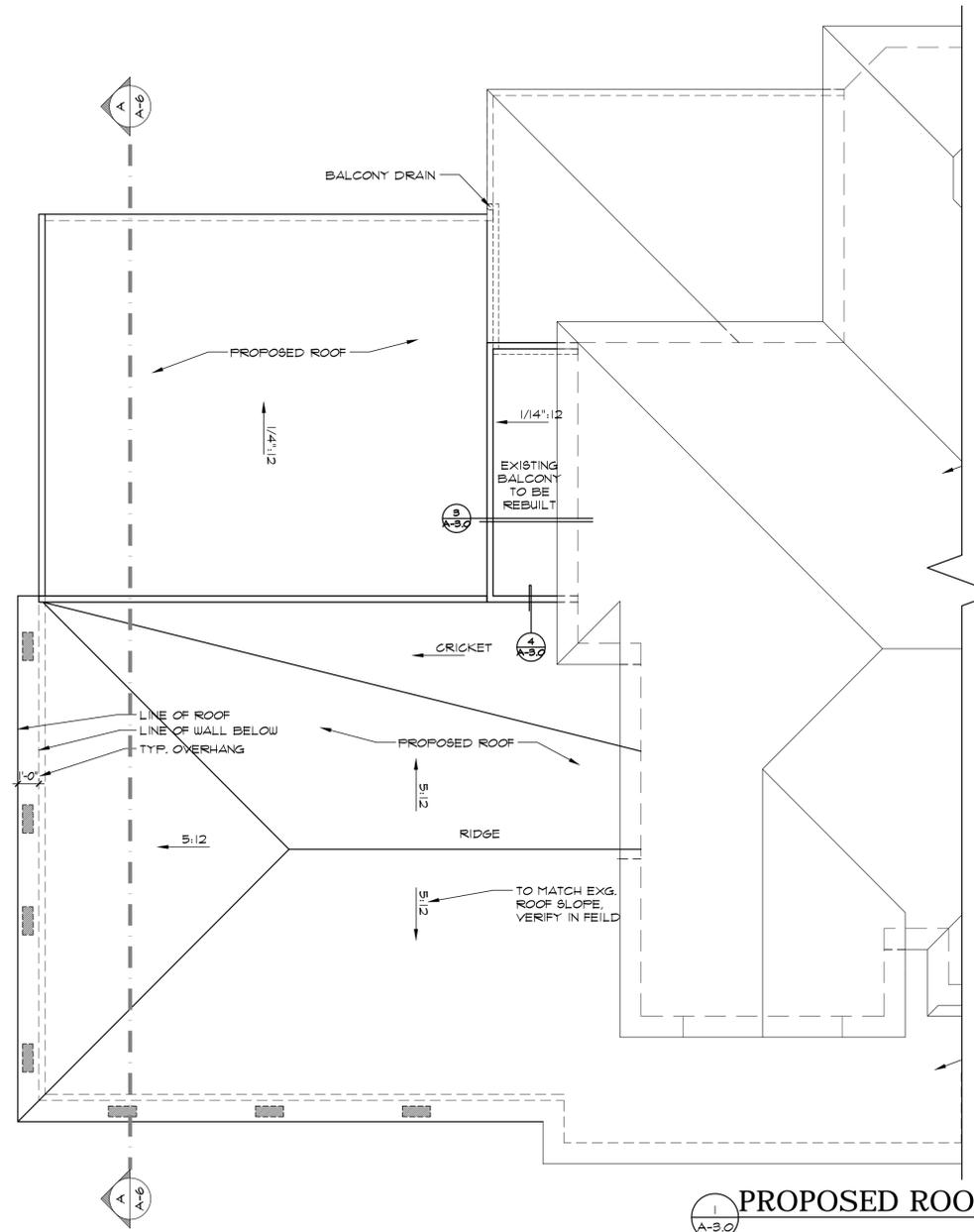
- X6 = DOWNSPOUTS TO GROUND
- XR = DOWNSPOUTS TO ROOF BELOW

ARROW INDICATING DIRECTION OF SLOPE AND ROOF PITCH

- RVAL-50/RVGL-50 OR RV6-55 ROOF LOUVER BY AIRVENT
- PROVIDES 50 SQ. INCHES OF NET FREE AREA PER LOUVER
- 3:12 TO 12:12 ROOF PITCH
- 16 X 6 ROOF LOUVER BY AIRVENT, OR EQ.
- PROVIDES 42 SQ. INCHES OF NET FREE AREA PER LOUVER

ROOF VENTILATION CODE:

- PER 2015 INTERNATIONAL CODE, CHAPTER 8, SECTION R806.2, MINIMUM AREA
- THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED WITHIN 3 FEET OF THE RIDGE OR HIGHEST POINT OF SPACE WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE.



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGN: ALL ARCHITECTURAL DOCUMENTS AND DESIGN DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGN PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND HIS CONSULTANTS. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE AUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503



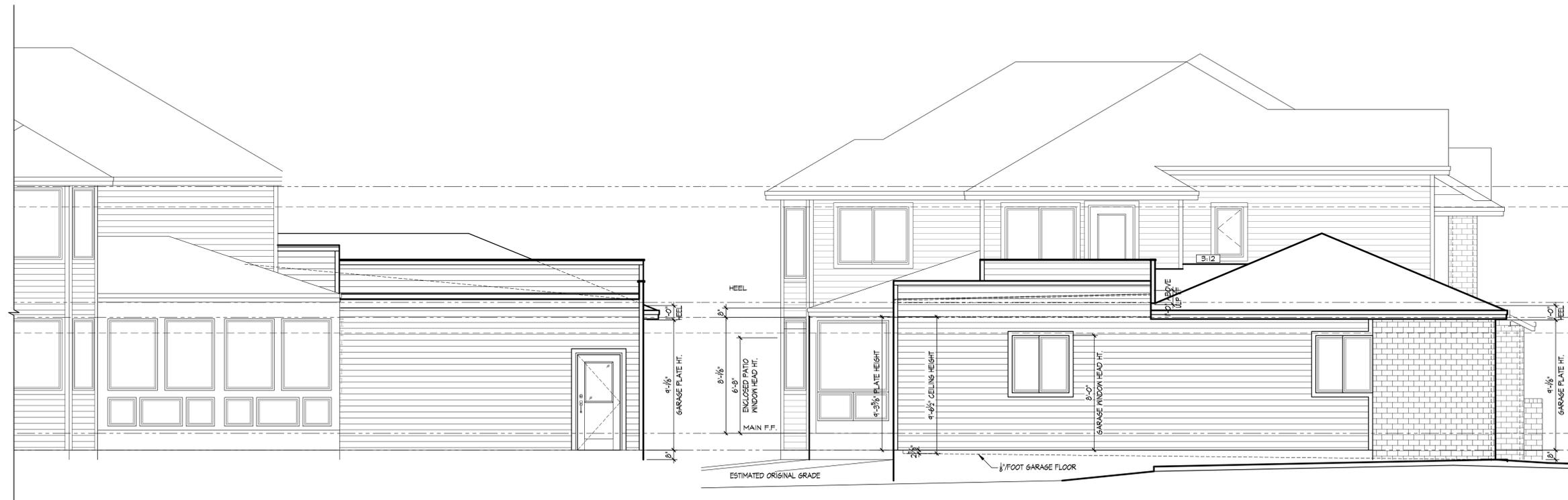
ORIGINAL ISSUE: DATE: 2/9/2022
PERMIT

CURRENT/REVISION ISSUE: DATE: 2/9/2022

NO.	REVISION TITLE	DATE

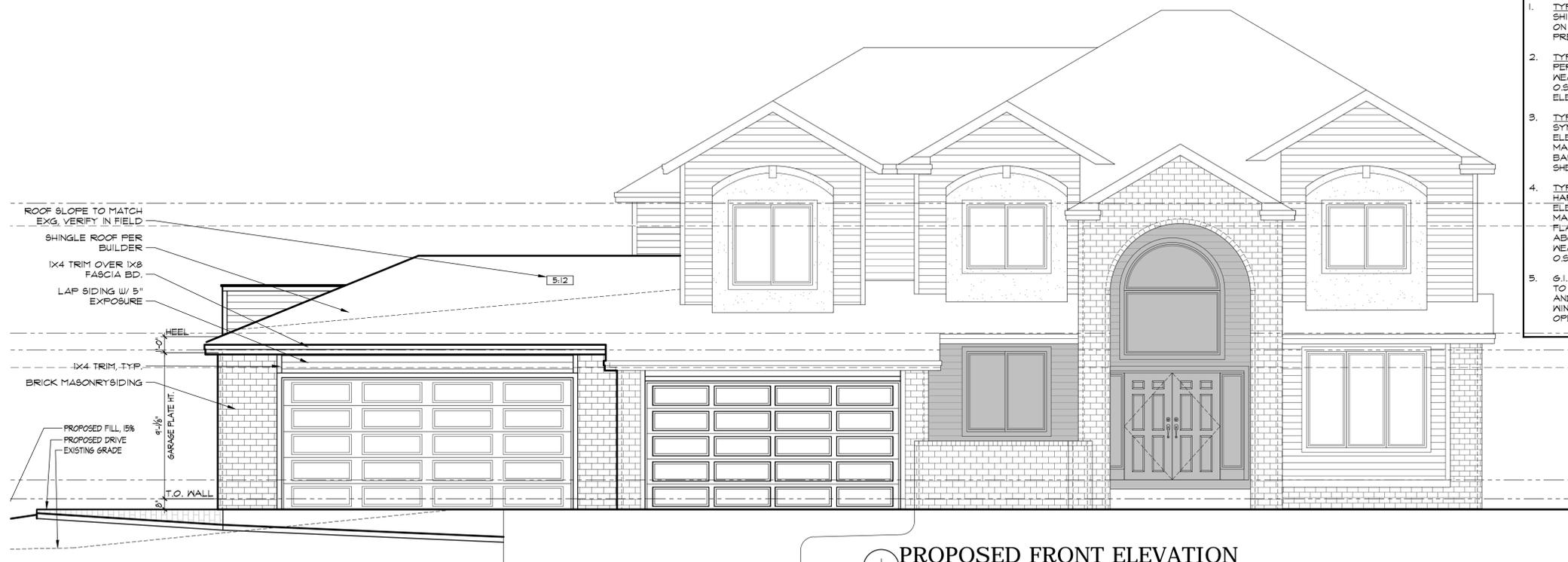
JOB #: 21028
DRAWN: TJH/KMK
CHECKED: AEP

A-3.0



3
A-4.0 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

2
A-4.0 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

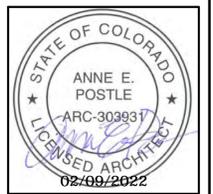


1
A-4.0 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

1. TYPICAL ROOF - COMPOSITION SHINGLE ROOFING MATERIAL ON 7/16" ROOF SHEATHING ON PRE-FAB. ROOF TRUSSES
2. TYPICAL SIDING - LAP SIDING PER ELEVATIONS OVER WEATHER BARRIER OVER 7/16" O.S.B. SHEATHING, SEE ELEVATIONS FOR EXPOSURE.
3. TYPICAL STONE VENEER - SYNTHETIC STONE VENEER PER ELEVATIONS, INSTALL PER MANUF. SPECS, OVER WEATHER BARRIER OVER 7/16" O.S.B. SHEATHING
4. TYPICAL STUCCO - HARDCOAT STUCCO PER ELEVATIONS, INSTALL PER MANUF. SPECS, PROVIDE FLASHING AT ALL TRIM PIECES ABOVE AND BELOW, OVER WEATHER BARRIER OVER 7/16" O.S.B. SHEATHING
5. S.I. FLASHING AT ALL ROOF TO WALL LOCATIONS, SADDLE AND CRICKET LOCATIONS, AND WINDOW AND DOOR HEAD OPENINGS - TYP.

OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSOMIS ARCHITECTURE, INC. OR AN OSOMIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSOMIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A PARTY IN NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osomis architecture 2022



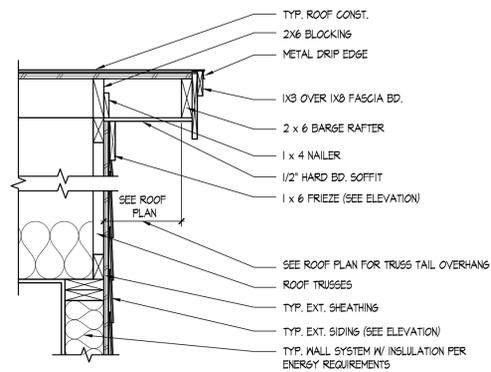
ORIGINAL ISSUE: DATE:
 PERMIT: 2/9/2022

CURRENT/REVISION ISSUE: DATE:
 2/9/2022 2/9/2022

NO.	REVISION TITLE:	DATE:

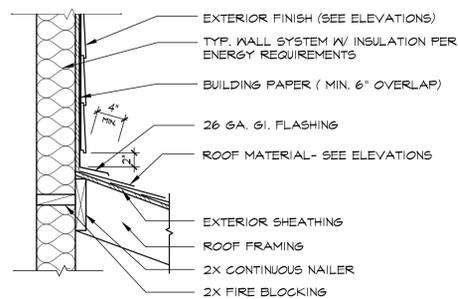
JOB #: 21028
 DRAWN: TJH/KMK
 CHECKED: AEP

A-4.0

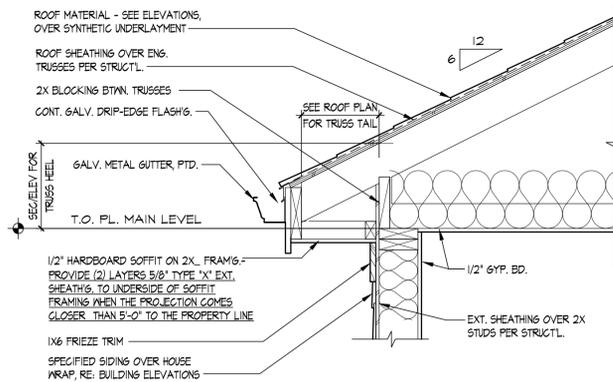


10 TYPICAL RAKE
SCALE: 1" = 1'-0"

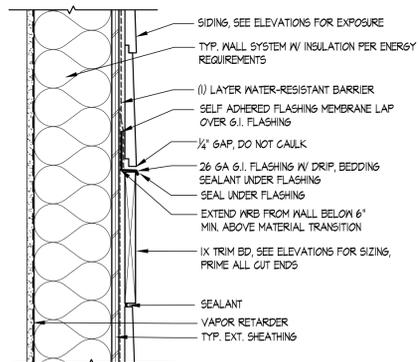
NOTE: INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS



9 ROOF TO WALL DETAIL
SCALE: 1" = 1'-0"

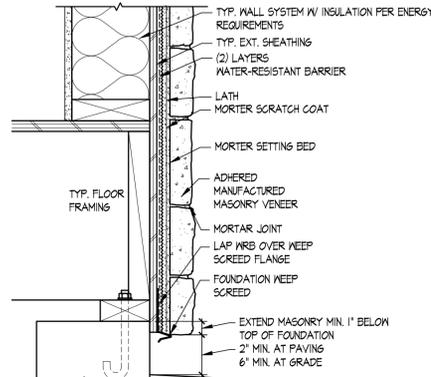


8 TYPICAL 6:12 EAVE
SCALE: 1" = 1'-0"

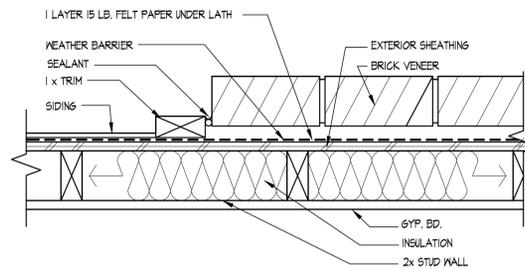


7 BELLY BAND TRIM AT SIDING
SCALE: 2" = 1'-0"

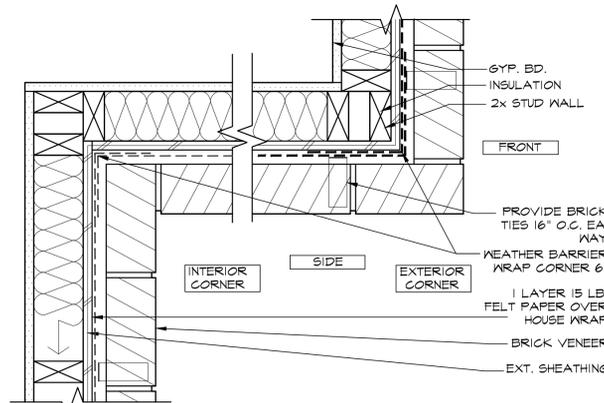
11 NOT USED
SCALE:



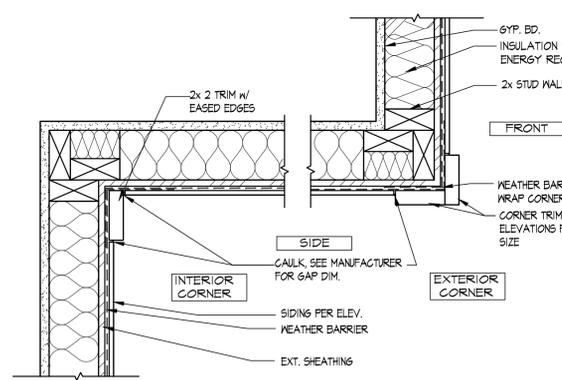
6 FOUNDATION DETAIL AT STONE
SCALE: 2" = 1'-0"



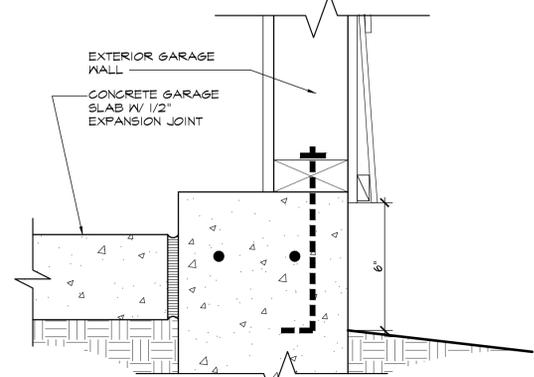
5 TRANSITION DETAIL BRICK-SIDING
SCALE: 2" = 1'-0"



4 CORNER DETAIL AT BRICK
SCALE: 2" = 1'-0"



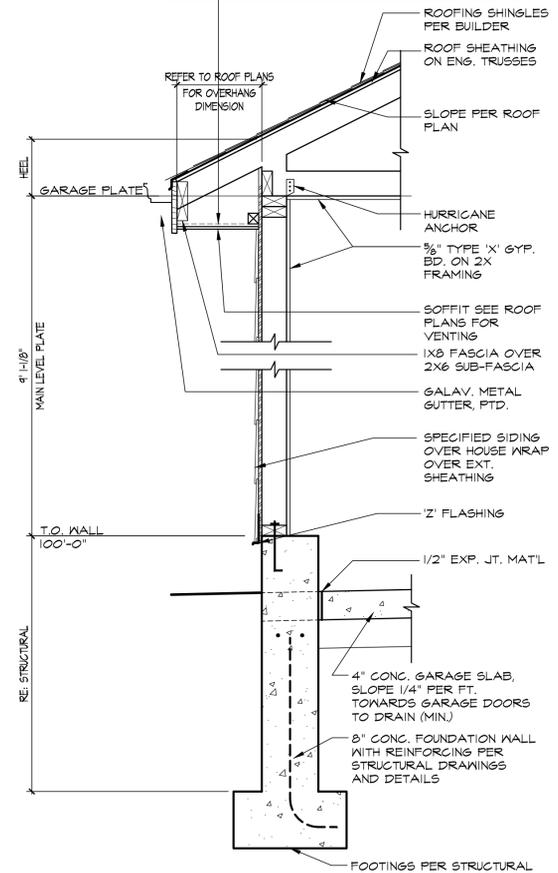
3 CORNER DETAIL AT SIDING
SCALE: 2" = 1'-0"



2 GARAGE FOUNDATION DETAIL
SCALE: 3" = 1'-0"

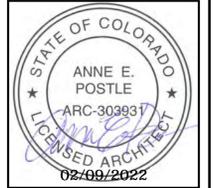
ICE SHIELD AND DRIP EDGE AS REQUIRED PER CODE

FIRE RATED OVERHANG (FOR USE WHEN OVERHANG IS WITHIN 5' OF PROPERTY LINE AND 10' OF ANY ADJACENT STRUCTURE):
(2)5/8" TYPE "X" GYPSUM SOFFIT BOARD; NO VENT, PROVIDE LOW ROOF VENTING PER CODE



1 GARAGE WALL SECTION
SCALE: 1" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. OR OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
DATE OF COOPERATION
RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

© osmosis architecture 2022



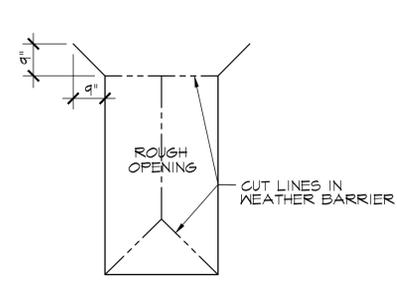
ORIGINAL ISSUE: DATE:
PERMIT 2/9/2022

CURRENT/REVISION ISSUE: DATE:
2/9/2022 2/9/2022

NO.	REVISION TITLE:	DATE:

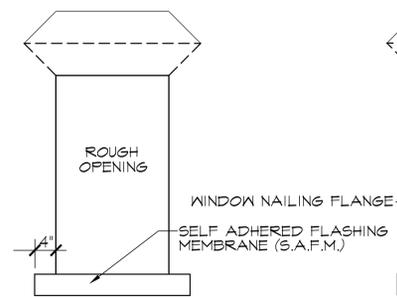
JOB #: 21028
DRAWN: TJK/KMK
CHECKED: AEP

AD-1



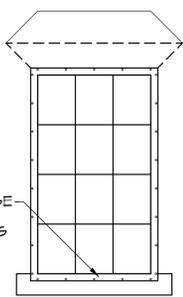
- A. INSTALL WEATHER BARRIER OVER ENTIRE HOUSE PER MFR'S INSTRUCTIONS
 B. CUT WEATHER BARRIER IN OPENINGS IN AN INVERTED 'Y' FROM SILL CORNERS UP TO HEAD & THEN 4" UP & 9" OUT ON 45 DEGREE ANGLE FROM HEAD/JAMB CORNERS

STEP 1



- A. FOLD TOP FLAP UP AND SECURE
 B. FOLD JAMB & SILL FLAPS OVER FRAMING & SECURE
 C. INSTALL S.A.F.M. SILL FLASHING 4" PAST JAMBS EACH SIDE

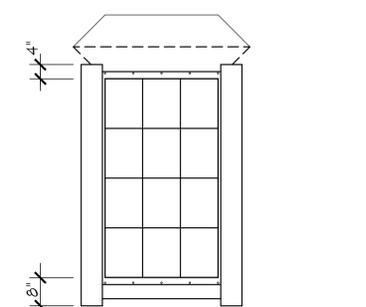
STEP 2



- A. INSTALL CONTINUOUS SEALANT BEAD TO BACK SIDE OF WINDOW NAILING FLANGE
 B. INSTALL WINDOW PER MFR'S INSTRUCTIONS

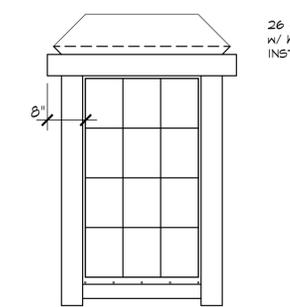
STEP 3

10 WINDOW FLASHING
SCALE: 1/2" = 1'-0"



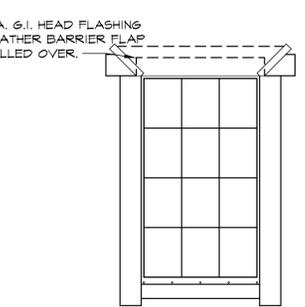
- A. INSTALL S.A.F.M. OVER WINDOW JAMB FLANGES
 B. EXTEND S.A.F.M. 4" ABOVE & 8" BELOW WINDOW ROUGH OPENING
 C. SILL FLASHING MUST NOT EXTEND PAST JAMB FLASHING

STEP 4



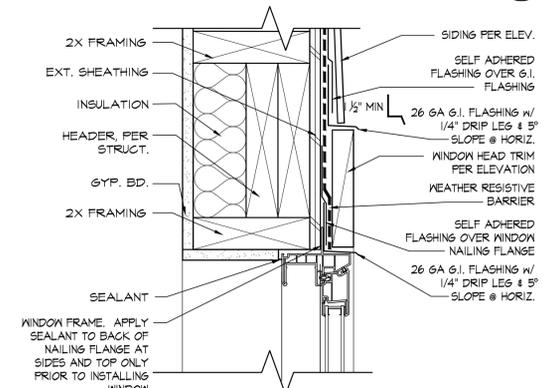
- A. INSTALL S.A.F.M. OVER WINDOW HEAD FLANGE
 B. EXTEND S.A.F.M. HEAD FLASHING 8" BEYOND ROUGH OPENING EACH SIDE

STEP 5

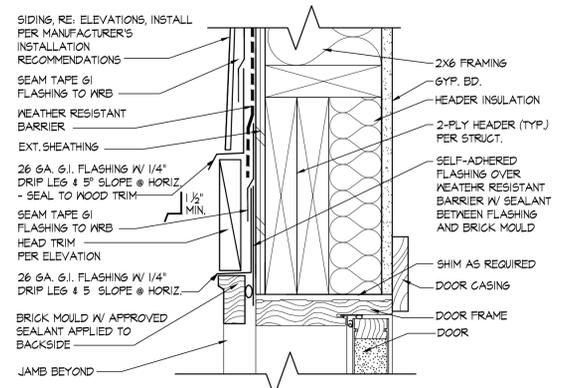


- A. ALLOW WEATHER BARRIER FLAP TO DRAPE OVER S.A.F.M. HEAD FLASHING & G.I. FLASHING. APPLY WEATHER RESISTANT TAPE OVER CUT IN THE WEATHER BARRIER.

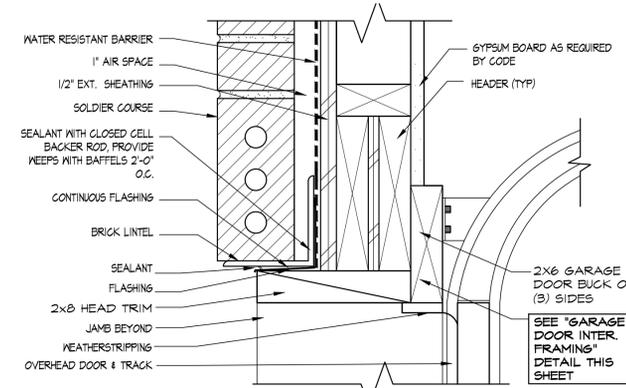
STEP 6



9 WINDOW HEAD AT SIDING
SCALE: 3" = 1'-0"

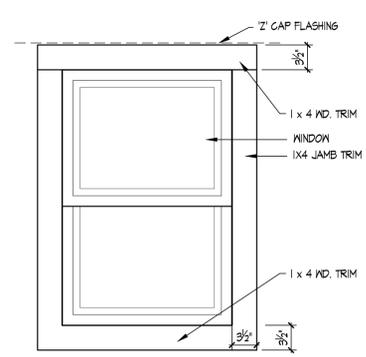


6 DOOR HEAD DETAIL AT SIDING
SCALE: 3" = 1'-0"

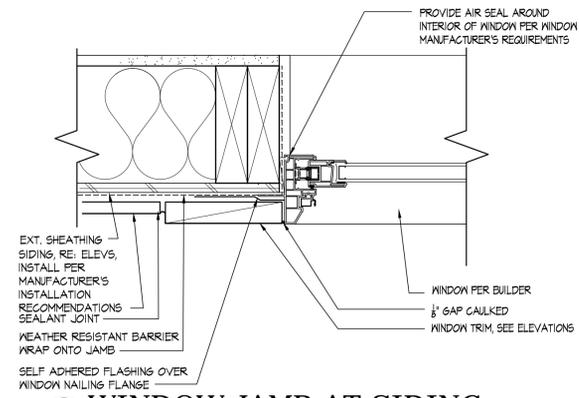


3 OVERHEAD DOOR DETAIL AT BRICK
SCALE: 3" = 1'-0"

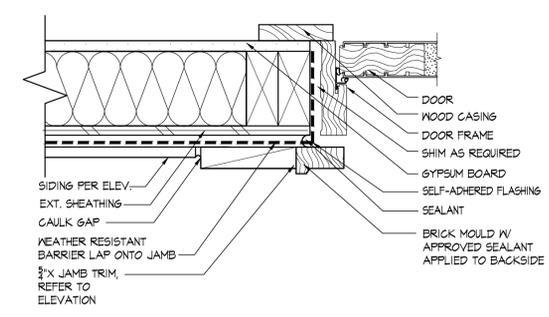
13 NOT USED
SCALE:



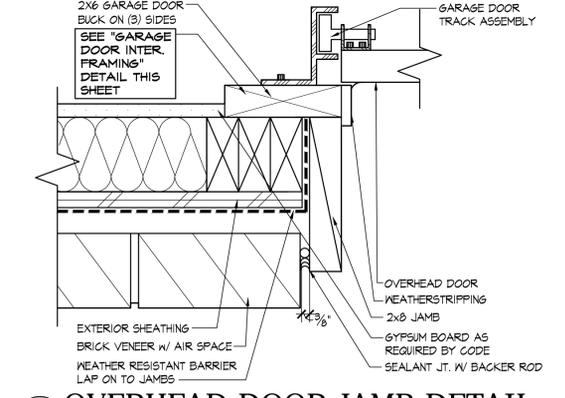
12 WINDOW TRIM DETAIL
SCALE: 1" = 1'-0"



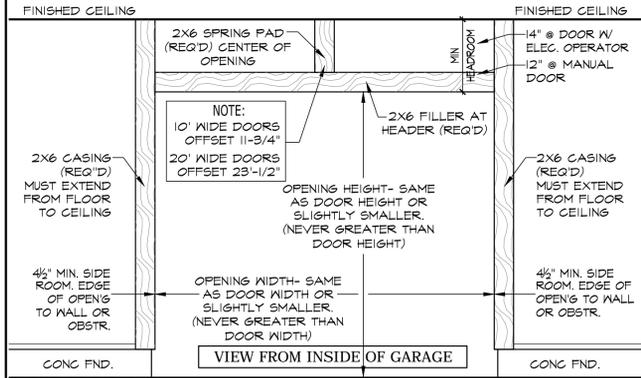
8 WINDOW JAMB AT SIDING
SCALE: 3" = 1'-0"



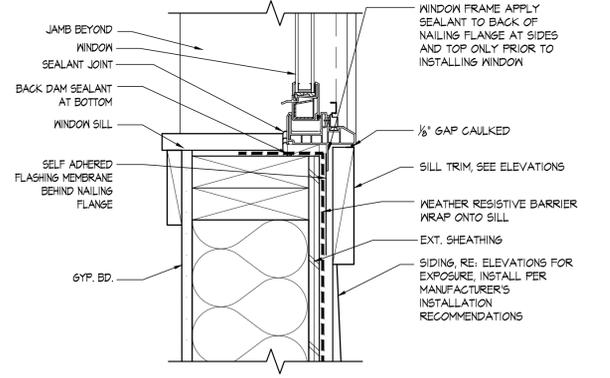
5 DOOR JAMB DETAIL AT SIDING
SCALE: 3" = 1'-0"



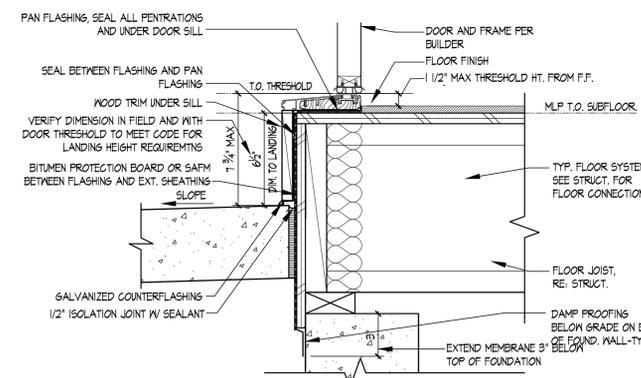
2 OVERHEAD DOOR JAMB DETAIL AT BRICK
SCALE: 3" = 1'-0"



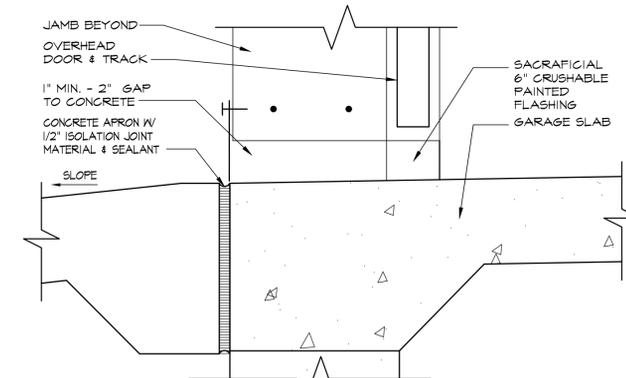
11 GARAGE DOOR INTER. FRAMING
NOT TO SCALE



7 WINDOW SILL AT SIDING
SCALE: 3" = 1'-0"

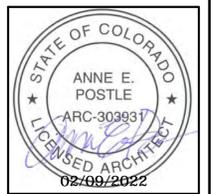


4 DOOR SILL AT PATIO/PORCH
SCALE: 2" = 1'-0"



1 OVERHEAD DOOR SILL DETAIL
SCALE: 3" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A PARTY NOTIFIED TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



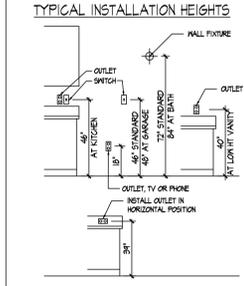
HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

osmosis art and architecture
 290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
 PH: 970.586.2171
 WWW.OSMOSISARCHITECTURE.COM

ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022
CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022
NO.:	REVISION TITLE:
	DATE:

JOB #:	21028
DRAWN:	TKM/KMK
CHECKED:	AEP

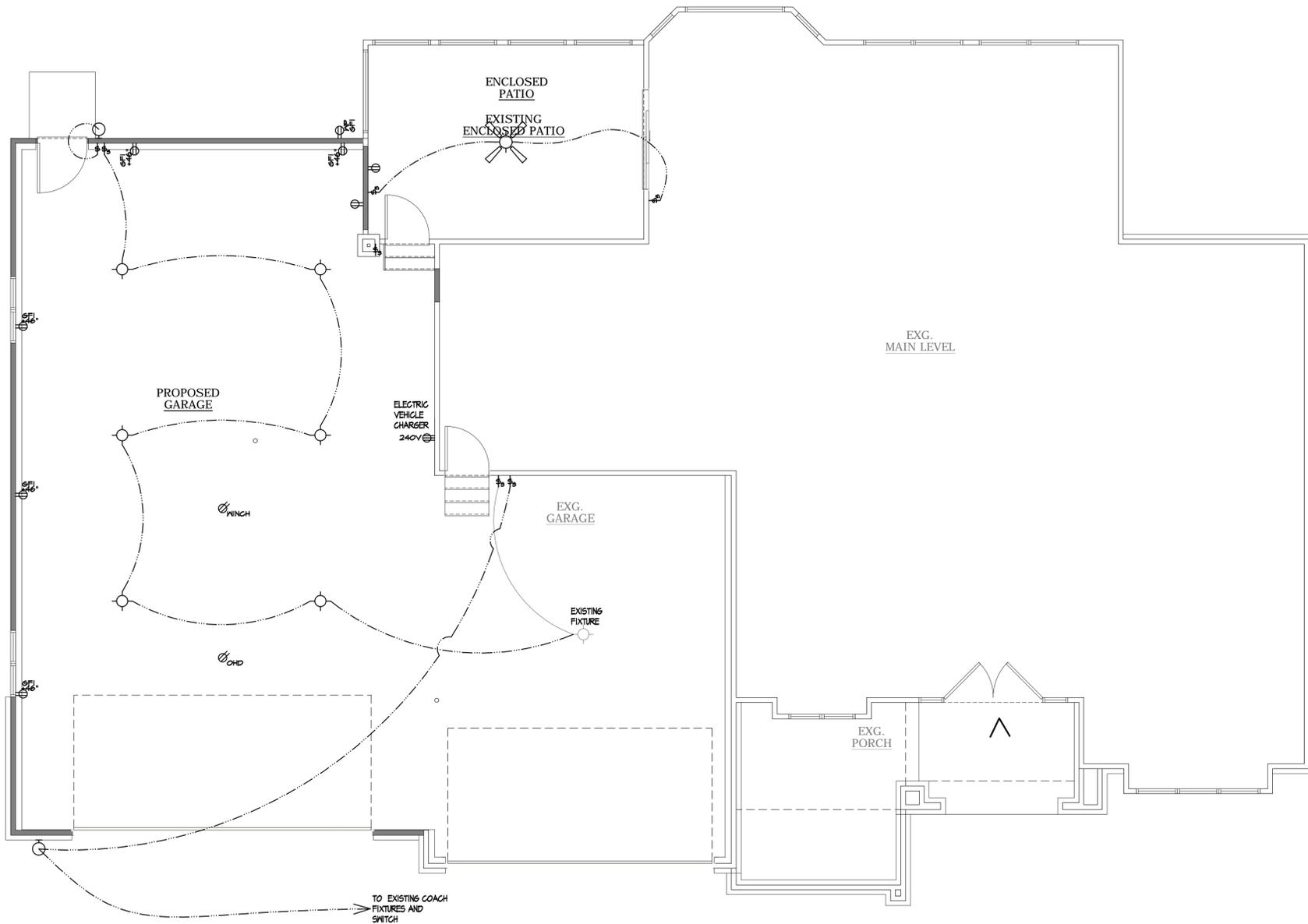
AD-2



ELECTRICAL KEY:

- ⊕ DUPLEX OUTLET
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND-FAULT CIRCUIT-INTERRUPTER
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ RHEOSTAT SWITCH
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED ADJ. EYEBALL LIGHT FIXTURE
- ⊕ RECESSED DAMP PROOF LIGHT FIXTURE
- ⊕ LIGHT FIXTURE WITH RAIL CHAIN
- ⊕ WALL WASHER/STEP LIGHT
- ⊕ SPECIAL PURPOSE OUTLET/JUNCTION BOX
- ⊕ REINFORCED JUNCTION BOX
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN (VENT TO EXTERIOR, NOTE # 3)
- ⊕ EXHAUST FAN/LIGHT COMBO. (VENT TO EXTERIOR, NOTE # 3)
- ⊕ OUTLET FOR GARAGE DOOR OPENER
- ⊕ CHIMES/DOORBELL
- ⊕ PUSHBUTTON SWITCH
- ⊕ GAS SHUT-OFF VALVE
- ⊕ TECH PORTS (PHONE, 2 DATA, CABLE)
- ⊕ TECH PANEL
- ⊕ SMOKE DETECTOR (NOTE # 4)
- ⊕ CARBON MONOXIDE DETECTOR (NOTE # 4)
- ⊕ TELEPHONE
- ⊕ TELEVISION
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ SPEAKER
- ⊕ CEILING FAN (PROVIDE ADEQUATE SUPPORT)
- ⊕ DASHED LINE INDICATES PRE-WIRE ONLY
- ⊕ CEILING FAN W/LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) DASHED LINE INDICATES PRE-WIRE ONLY
- ⊕ UNDER COUNTER LIGHT
- ⊕ FIRE SPRINKLER

- ELECTRICAL NOTES:**
1. Unless otherwise indicated, install switches, receptacles, etc. at the following heights above finish floor:
 Outlets.....18"
 Telephone.....18"
 Television.....18"
 Outlets above low bath countertop.....40"
 Outlets above kitchen countertop.....46"
 Switches.....46"
 Garage switches and outlets.....46"
 Thermostat.....50"
 Chimes.....84"
 2. Field verify location of fixture where indicated.
 3. All bathroom exhaust fans shall be connected (inhausted) directly to the outside and shall provide a minimum of 50cfm intermittently and 20cfm cont.
 4. All smoke detectors & carbon monoxide detectors shall be interconnected to provide alarm which will be audible in sleeping areas. Detectors must receive power from 120 volt building wiring with battery backup. CO detectors are required to be installed outside sleeping areas in immediate vicinity of bedrooms. Smoke alarms are required to be located within each sleeping room, outside each sleeping area in immediate vicinity of each story and within 5' of a bathroom containing a tub/shower. CO detectors are required to be installed in bedrooms where a fire burning appliance is located or in its attached bathroom. Section R504.4.3.5
 5. Countertop receptacles shall be installed at each countertop spaced 12' or wider and at no point along the countertop is 24' from a receptacle with exceptions at sinks and ranges.
 6. A minimum of two 20-ampere-rated branch circuits shall be provided to serve all wall and floor receptacle outlets located in the kitchen, party, breakfast area, dining area or similar area of a dwelling. The kitchen countertop receptacles shall be served by a minimum of two 20-ampere-rated branch circuits, either or both of which shall also be permitted to supply other receptacle outlets in the same kitchen, party, breakfast and dining area including receptacle outlets for refrigeration appliances.
 7. A maximum of eight electrical outlets may be connected to a 15 ampere branch circuit (Refer to any local amendments if applicable).
 8. The grounding electrode system shall include an electrode encased by at least 2" of concrete, located within and near the bottom of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 20 ft. of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 1/2" dia. or consisting of at least 20 ft bare copper conductor not smaller than No. 2, Article 250-8(C), NEC.
 9. Light fixtures in clothes closets must comply with Article 10-8, NEC.
 10. Receptacle outlets must be installed in habitable rooms so that at no point along the floor line in any wall space 2 ft. or more in length is more than 6' measured for total from outlet, Article 210-52A, NEC.
 11. A minimum of 75% of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps or not less than 75% of the permanently installed lighting fixtures shall only contain high-efficiency lamps, per section N10-4.
 12. If a concrete slab floor is used in the basement, then a continuously running fan is required in the laundry room.
 13. Provide tamper-resistance receptacles in locations required by code.
 14. Branch circuits serving habitable spaces shall be ARC fault protected (RC E992.2)
 15. Gas manifold serving CSSI gas tubing shall be bonded to the electrical service grounding electrode system. (RC 624(1))
 16. All receptacle outlets located within 6' of the edge of sinks, including those below sinks, must be GFCI protected, except disposals, Article 210.8(A)(1), NEC.
 17. All receptacle outlets located in a laundry area must be GFCI protected, Article 210.8(A)(1), NEC.
 18. GFCI outlet for dishwasher may not be located behind the dishwasher. Article 210.52(B)(1), NEC. Flexible cord for dishwasher may not be longer than 6.5 ft. Article 422.1(B)(2), NEC.
 19. At least one receptacle outlet must be installed at each perimeter countertop that is more than 24" in length, measured from the adjoining wall, Article 210.52(B)(3), NEC.
 20. In both detached and detached garages with electric power there must be at least one receptacle outlet, or there must be at least one receptacle outlet installed for each car space, Article 210.52(G)(1), NEC.
 21. Light fixtures in crawl spaces must be GFCI protected, Article 210.8(E), NEC.



PROPOSED MAIN LEVEL ELEC PLAN
SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSOMOS ARCHITECTURE, INC. REMAIN OSOMOS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSOMOS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

osmosis art and architecture
 290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
 PHONE: 303.225.1717
 www.osmosisarchitecture.com

ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

NO.	REVISION TITLE:	DATE:
X	CITY COMMENTS	X

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

E-1



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930

Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

October 26, 2022

TO: Abigail Scheuermann, Planner I; Community Planning & Permitting, Zoning Development Review

FROM: Ian Brighton, Planner II; Community Planning & Permitting, Development Review – Access & Engineering

SUBJECT: Docket # SPRW-22-0045: Beveridge Attached Garage and Screened Porch
8217 Willow Lane

The Development Review – Access & Engineering Team has reviewed the above referenced docket and has the following comments:

1. The subject property is accessed via Willow Lane, a Boulder County owned and maintained right-of-way (ROW) with a Functional Classification of Local. Legal access has been demonstrated via adjacency to this public ROW.
2. The existing driveway appears to measure approximately 16 feet in width from aerial imagery, which complies with the [Boulder County Multimodal Transportation Standards \(the “Standards”\)](#) for residential development in the plains.
3. The applicant must submit an engineered grading and drainage plan that clearly shows the following information: existing and proposed contours, drainage details including flow lines and how drainage will be handled downslope from the proposed driveway and residence. Grading calculations signed and sealed by a qualified Colorado-licensed Professional Engineer, Landscape Architect, or Architect must be submitted with the plan.
4. Plans submitted for permitting must demonstrate that the proposed earthwork will not alter or increase the historic drainage patterns from the site to adjacent properties.
5. During construction, all materials, machinery, dumpsters, and other items must be staged on the subject property; no items shall be stored or staged on Willow Lane. All worker vehicles must be parked on site or to one side of Willow Lane so as to not impede the travel way.
6. A Boulder County Hauler License is required for hauling of material off site, regardless of where the material is deposited. This applies to the prime contractor as well as any subcontractors that collect, transport or dispose of any materials (dirt, gravel, garbage, recyclables, or compostables, construction and demolition waste, or landscaping materials) anywhere except within the project site, including locations outside unincorporated Boulder County. Additional information can be found here: <https://www.bouldercounty.org/environment/trash/hauler-license/>.

This concludes our comments at this time.

Matt Jones County Commissioner **Claire Levy** County Commissioner **Marta Loachamin** County Commissioner

From: [Scheuermann, Abigail](#)
To: [Knotts, Amber](#)
Subject: FW: [EXTERNAL] Comments on Docket No. SPRW-22-0045 - Request to Waive Site Plan Review at 8217 Willow Lane, Niwot, CO
Date: Tuesday, October 18, 2022 8:20:13 AM

From: LU Land Use Planner <planner@bouldercounty.org>
Sent: Tuesday, October 18, 2022 7:28 AM
To: Scheuermann, Abigail <ascheuermann@bouldercounty.org>
Subject: FW: [EXTERNAL] Comments on Docket No. SPRW-22-0045 - Request to Waive Site Plan Review at 8217 Willow Lane, Niwot, CO

[@Scheuermann, Abigail](#)

bbg

From: Chuck Klueber <chuckklueber@gmail.com>
Sent: Monday, October 17, 2022 5:13 PM
To: LU Land Use Planner <planner@bouldercounty.org>
Cc: Michael Dribnak <mike.dribnak@comcast.net>; Frank Seuberling <seuberling@comcast.net>; paulahull484@comcast.net; Linda Klueber <designsbylkk@gmail.com>
Subject: [EXTERNAL] Comments on Docket No. SPRW-22-0045 - Request to Waive Site Plan Review at 8217 Willow Lane, Niwot, CO

Dear Abigail Scheuermann or other assigned Land Use Planner,

I am Charles Klueber. My wife, Linda Klueber, and I live at 8206 Sawtooth Lane, Niwot CO 80503. Our lot is less than 100 feet from the lot at 8217 Willow Lane, Niwot CO 80503.

We strongly urge the County not to approve Mr. Holme's request for a waiver of a Site Plan Review at 8217 Willow Lane, Niwot, CO. Our home and our neighbors' have had water drainage problems in the past. We are concerned that without a written water mitigation/flood control report and an approved County Site Plan Review the planned changes at 8217 Willow Lane could negatively affect the existing drainage issues on our lot and those of our neighbors.

We also would like the County to request that a certified professional engineering drainage report be approved prior to any approval for construction.

Regards,
Charles and Linda Klueber
8206 Sawtooth Lane
Niwot, CO 80503
303-652-2234

Scheuermann, Abigail

From: LU Land Use Planner
Sent: Monday, October 17, 2022 10:27 AM
To: Scheuermann, Abigail
Subject: FW: [EXTERNAL] Fwd: SPRW 8217 Willow Ln, 22-0045

[@Scheuermann, Abigail](#)

Fyi
bbg

From: Michael Dribnak <mike.dribnak@comcast.net>
Sent: Monday, October 17, 2022 10:26 AM
To: LU Land Use Planner <planner@bouldercounty.org>
Subject: [EXTERNAL] Fwd: SPRW 8217 Willow Ln, 22-0045

Sorry the address is 8217 Willow, typographical error on original email.

Sent from my iPhone

Begin forwarded message:

From: Michael Dribnak <mike.dribnak@comcast.net>
Date: October 17, 2022 at 10:23:19 AM MDT
To: planner@bouldercounty.org
Subject: SPRW 8218 Willow Ln, 22-0045

I received the notice over the weekend regarding the expansion of garage and new screened in porch on the above mentioned address. I would like to talk to a planner, or Abigail Scheuermann, regarding this application, the letter says I needed to respond by 10/17/22, which is today. This project will affect neighboring homes below elevation by flooding their basements. The homeowner, Jeff Holmes was asked by HOA and adjacent neighbors to provide a professional water control or flood mitigation survey, which will address these concerns. Has this survey been disclosed or included in this SPRW application? We cannot approve any construction without the water mitigation/flood control professional survey for review prior to approval of this application.

Also given the scope of the job, it seems likely this job will exceed the cubic yards minimum.

Michael Dribnak
8224 Willow Ln
303-859-2070

Sent from my iPhone

From: [Scheuermann, Abigail](#)
To: [Knotts, Amber](#)
Subject: FW: [EXTERNAL] Docket SPRW-22-0045 Beveridge Attached Garage and Screened Porch
Date: Tuesday, October 18, 2022 8:19:57 AM

From: LU Land Use Planner <planner@bouldercounty.org>
Sent: Tuesday, October 18, 2022 7:15 AM
To: Scheuermann, Abigail <ascheuermann@bouldercounty.org>
Subject: FW: [EXTERNAL] Docket SPRW-22-0045 Beveridge Attached Garage and Screened Porch

[@Scheuermann, Abigail](#)

bbg

From: BECCI SEUBERLING <becciseub@comcast.net>
Sent: Monday, October 17, 2022 5:06 PM
To: LU Land Use Planner <planner@bouldercounty.org>
Subject: [EXTERNAL] Docket SPRW-22-0045 Beveridge Attached Garage and Screened Porch

I am not in favor of the waiver request of the site plan review for 8217 Willow Lane. This property should be subject to a site plan review as is typically required by law.

There have been drainage issues in this area in the past, specifically during the fall of 2013. As there are several adjacent properties which are downhill of this one it is my belief that there should be a site plan review which includes looking at the drainage issues. This needs to include making sure that drainage is properly addressed so that adjacent properties are not affected negatively by the addition.

M Rebecca Seuberling
6882 Springhill Dr
Niwot, CO 80503
becciseub@comcast.net



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303.441.3930 • Fax: 303.441.4856
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.bouldercounty.org

Building Safety & Inspection Services Team

MEMO

TO: Abigail Scheuermann, Planner I
FROM: Michelle Huebner, Plans Examiner Supervisor
DATE: October 11, 2022

RE: Referral Response, SPRW-22-0045: Beveridge Attached Garage and Screened Porch. Site Plan Review Waiver request proposing the construction of a 788 square-foot attached garage and a 205-square-foot closed in porch on a .73 acre parcel with 5,782 square-feet of existing residential floor area and a presumptive size maximum of 7,054 square-feet.

Location: 8217 WILLOW LANE

Thank you for the referral. We have the following comments for the applicants:

1. **Building Permit.** A building permit, plan review, and inspection approvals are required for the proposed addition.

Please refer to the county's [adopted 2015 editions of the International Codes and code amendments](#), which can be found via the internet under the link:

2015 Building Code Adoption & Amendments, at the following URL:

<https://assets.bouldercounty.org/wp-content/uploads/2017/03/building-code-2015.pdf>

2. **Automatic Fire Sprinkler System.** According to R313.2.1 of the currently adopted 2015 Boulder County Building Code this addition triggers the requirement for an automatic residential fire sprinkler system to be installed throughout the home. This system shall be designed and installed in accordance with NFPA 13D or IRC Section P2904.

R313.2.1 Additions to existing one- and two-family dwellings. An automatic residential fire sprinkler system shall be installed throughout existing one- and two-family dwellings with additions when the sum of the total floor area of the addition plus the existing one- and two-family dwelling is increased to 4,800 sq. ft. or greater. The floor area of detached structures having floor areas of 120 square feet or greater that are located

less than 50 feet from the dwelling shall be included in the floor area calculated for the dwelling.

3. **Design Wind and Snow Loads.** The design wind and ground snow loads for the property are 150 mph (Vult) and 40 psf, respectively.
4. **Ignition-Resistant Construction and Defensible Space.** Please refer to Section R327 of the Boulder County Building Code for wildfire hazard mitigation requirements, including ignition-resistant construction and defensible space. A separate referral response will be forthcoming from one of the county's wildfire mitigation specialists.
5. **Electric vehicle charging outlet.** Boulder County Building Code requires:
 - a. R329.1 Electric vehicle charging pre-wire option. In addition to the one 125-volt receptacle outlet required for each car space by NEC Section 210.52(G)(1.), every new garage or carport that is accessory to a one- or two-family dwelling or townhouse shall include at least one of the following, installed in accordance with the requirements of Article 625 of the Electrical Code:
 - i. A Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - ii. Upgraded wiring to accommodate the future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet, or
 - iii. Electrical conduit to allow ease of future installation of a Level 2 (240-volt) electric vehicle charging receptacle outlet.
6. **Plan Review.** The items listed above are a general summary of some of the county's building code requirements. A much more detailed plan review will be performed at the time of building permit application, when full details are available for review, to assure that all applicable minimum building codes requirements are to be met. Our [Commercial Plan Submittal Checklist](#) and other Building Safety publications can be found at: <https://www.bouldercounty.org/property-and-land/land-use/building/building-publications/>

If the applicants should have questions or need additional information, we'd be happy to work with them toward solutions that meet minimum building code requirements. Please call (720) 564-2640 or contact us via e-mail at building@bouldercounty.org



Parks & Open Space

5201 St. Vrain Road • Longmont, CO 80503
303-678-6200 • POSinfo@bouldercounty.org
www.BoulderCountyOpenSpace.org

TO: Abigail Scheuermann, Community Planning & Permitting Department
FROM: Ron West, Natural Resource Planner
DATE: October 20, 2022
SUBJECT: Docket SPRW-22-0045, Beveridge, 8217 Willow Lane

Staff has reviewed the submitted materials, and has no natural resource concerns with the proposal. The lot is internal to a built-out subdivision.



Right of Way & Permits

1123 West 3rd Avenue
Denver, Colorado 80223
Telephone: **303.571.3306**
Facsimile: 303. 571. 3284
donna.l.george@xcelenergy.com

October 18, 2022

Boulder County Community Planning and Permitting
PO Box 471
Boulder, CO 80306

Attn: Abigail Scheuermann

Re: Beveridge attached garage and screened porch, Case # SPRW-22-0045

Public Service Company of Colorado's (PSCo) Right of Way & Permits Referral Desk has reviewed the site plan for **Beveridge attached garage and screened porch** and has **no apparent conflict**.

Please be aware PSCo owns and operates existing natural gas and electric distribution facilities along Willow Lane. Should the project require any new natural gas or electric service or modification to existing facilities, the property owner/developer/contractor must complete the application process via [xcelenergy.com/InstallAndConnect](https://www.xcelenergy.com/InstallAndConnect).

As a safety precaution, PSCo would like to remind the developer to contact Colorado 811 for utility locates prior to construction.

Donna George
Right of Way and Permits
Public Service Company of Colorado dba Xcel Energy
Office: 303-571-3306 – Email: donna.l.george@xcelenergy.com