



# Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303-441-3930  
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • [www.BoulderCounty.org](http://www.BoulderCounty.org)

**MEMO TO:** County Health and Parks Departments, FPD  
**FROM:** Andy Vieth, Staff Planner  
**DATE:** June 22, 2022  
**RE:** Site Plan Review application SPR-22-0046

**Docket SPR-22-0046: Lommele Garage**

**Request:** Site Plan Review for the construction of a 974-square-foot detached garage for a total residential floor area of 3,937 square feet where the Presumptive Size Maximum is 2,609 square feet.

**Location:** 240 3<sup>rd</sup> Avenue, Lots 17-20 Block 22 Niwot, Section 25, Township 2N, Range 70W

**Zoning:** Niwot Rural Community District II (NRCD II)

**Applicants/Owners:** BP Investments LLC c/o Morgan Lomelle

**Agent:** Sobo Homes Inc.

Site Plan Review by the Boulder County Community Planning & Permitting Director is required for new building/grading/access or floodplain development permits in the plains and mountainous areas of unincorporated Boulder County. The subject review process considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

The Community Planning & Permitting staff values comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to [planner@bouldercounty.org](mailto:planner@bouldercounty.org). All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email [planner@bouldercounty.org](mailto:planner@bouldercounty.org) to request more information.

Please return responses by **July 11, 2022**

(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see <https://boco.org/covid-19-cpp-notice-20200323>)).

\_\_\_\_\_ We have reviewed the proposal and have no conflicts.

\_\_\_\_\_ Letter is enclosed.

Signed \_\_\_\_\_ PRINTED Name \_\_\_\_\_

Agency or Address \_\_\_\_\_



### Boulder County Land Use Department

Courthouse Annex Building  
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302  
 Phone: 303-441-3930  
 Email: [planner@bouldercounty.org](mailto:planner@bouldercounty.org)  
 Web: [www.bouldercounty.org/lu](http://www.bouldercounty.org/lu)  
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.  
 Tuesday 10 a.m. to 4:30 p.m.

<i>Shaded Areas for Staff Use Only</i>
Intake Stamp

## Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name		
<input type="checkbox"/> Appeal	<input type="checkbox"/> Modification of Site Plan Review	<input type="checkbox"/> Road Name Change	<input type="checkbox"/> Special Use (Oil & Gas development)	
<input type="checkbox"/> Correction Plat	<input type="checkbox"/> Modification of Special Use	<input type="checkbox"/> Road/Easement Vacation	<input type="checkbox"/> State Interest Review (1041)	
<input type="checkbox"/> Exemption Plat	<input type="checkbox"/> Preliminary Plan	<input checked="" type="checkbox"/> Site Plan Review	<input type="checkbox"/> Subdivision Exemption	
<input type="checkbox"/> Final Plat	<input type="checkbox"/> Resubdivision (Replat)	<input type="checkbox"/> Site Plan Review Waiver	<input type="checkbox"/> Variance	
<input type="checkbox"/> Limited Impact Special Use	<input type="checkbox"/> Rezoning	<input type="checkbox"/> Sketch Plan	<input type="checkbox"/> Other:	
<input type="checkbox"/> Limited Impact Special Use Waiver		<input type="checkbox"/> Special Use/SSDP		
<input type="checkbox"/> Location and Extent				
Location(s)/Street Address(es) <b>240 3rd Ave</b>				
<b>Niwot, CO 80503</b>				
Subdivision Name <b>Niwot - NI</b>				
Lot(s) <b>17-20</b>	Block(s) <b>22</b>	Section(s) <b>25</b>	Township(s) <b>2N</b>	Range(s) <b>70</b>
Area in Acres <b>0.31</b>	Existing Zoning <b>NRC02</b>	Existing Use of Property <b>Residential</b>	Number of Proposed Lots <b>17-20</b>	
Proposed Water Supply <b>County</b>		Proposed Sewage Disposal Method <b>County (Not Septic)</b>		

**Applicants:** **Morgan Lommele**

Applicant/Property Owner <b>BP Investments LLC</b>		Email <b>mlommele@gmail.com</b>		
Mailing Address <b>240 3rd Ave</b>				
City <b>Niwot</b>	State <b>CO</b>	Zip Code <b>80503</b>	Phone <b>720-470-2981</b>	
Applicant/Property Owner/Agent/Consultant		Email		
Mailing Address				
City	State	Zip Code	Phone	
Agent/Consultant <b>Sobo Homes inc.</b>		Email <b>ERIC@sobohomes.com, Angela@sobohomes.com</b>		
Mailing Address <b>2150 pearl st</b>				
City <b>Boulder</b>	State <b>CO</b>	Zip Code <b>80302</b>	Phone <b>720-381-0945, 720-441-9569</b>	

**Certification** (Please refer to the Regulations and Application Submittal Package for complete application requirements.)  
 I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval. I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.  
 All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner <small>Done Signed by:</small> <i>Morgan Lommele</i>	Printed Name <b>Morgan Lommele</b>	Date <b>5/16/2022</b>
Signature of Property Owner <small>Done Signed by:</small> <i>Bernard Poncelet</i>	Printed Name <b>Bernard Poncelet</b>	Date <b>5/9/2022</b>

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



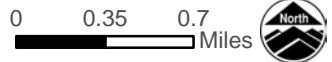
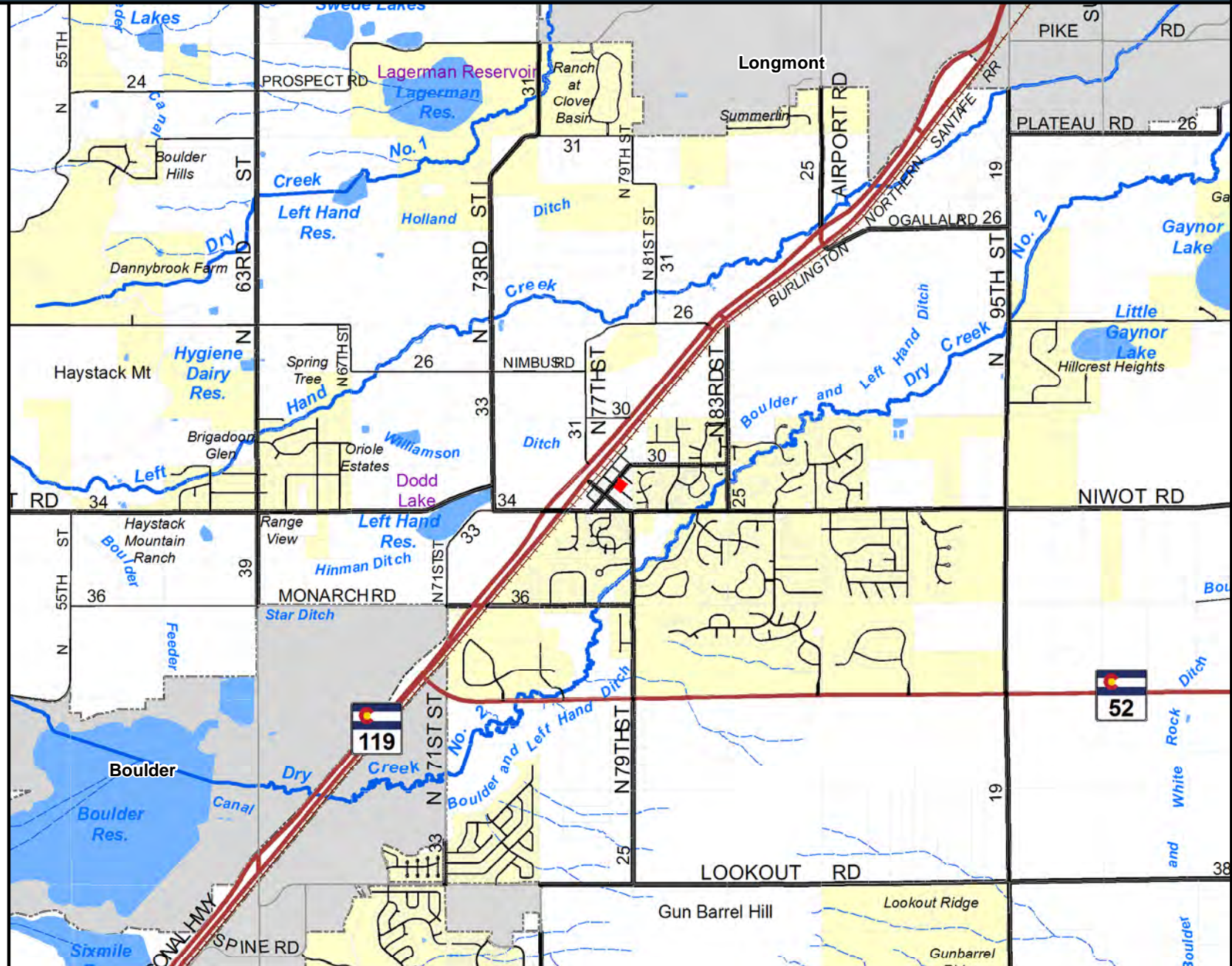
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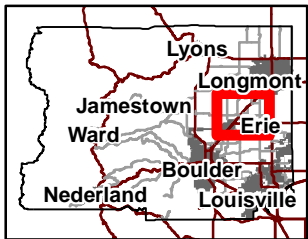
Vicinity

240 3RD AVE

- Subject Parcel
- Municipalities
- Subdivisions**
- Subdivisions



Area of Detail Date: 8/10/2021



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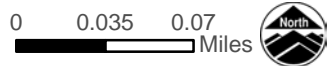
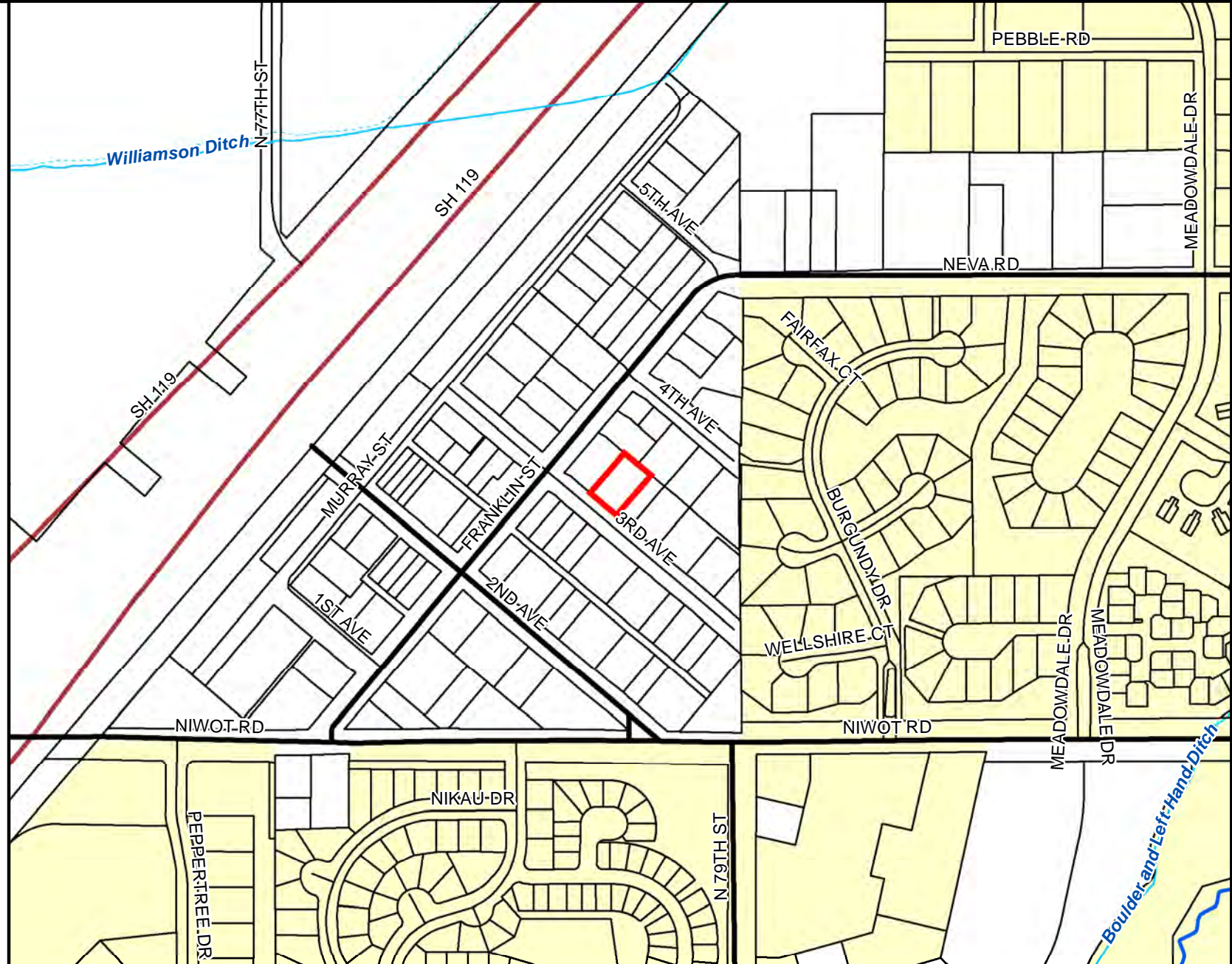
Location

240 3RD AVE

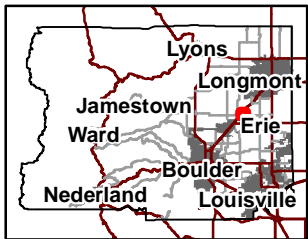
Subject Parcel

**Subdivisions**

Subdivisions



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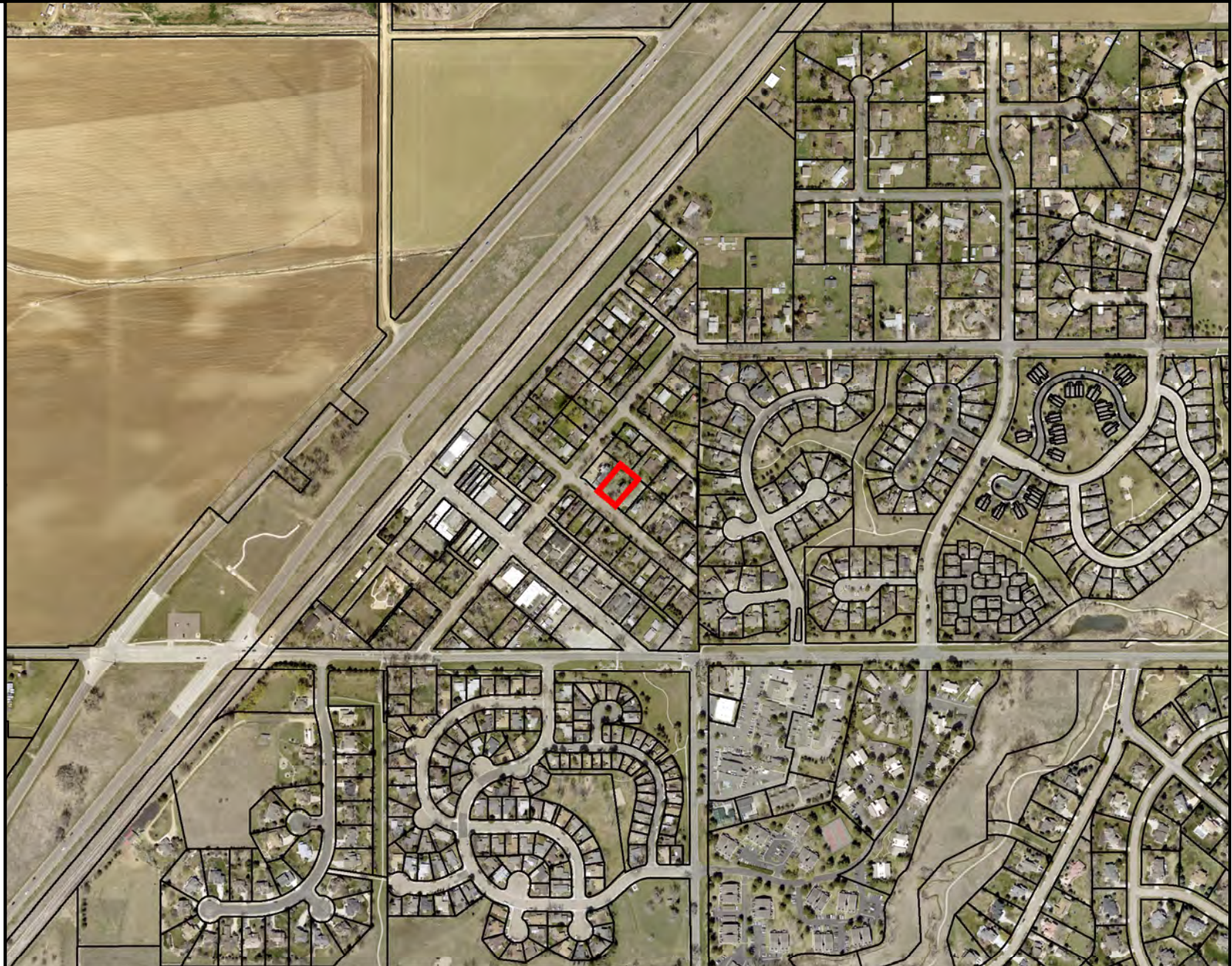


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Aerial  
240 3RD AVE

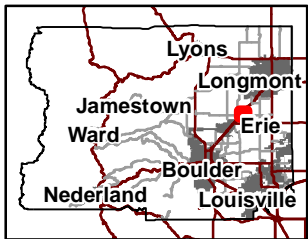
 Subject Parcel



0 0.05 0.1 Miles



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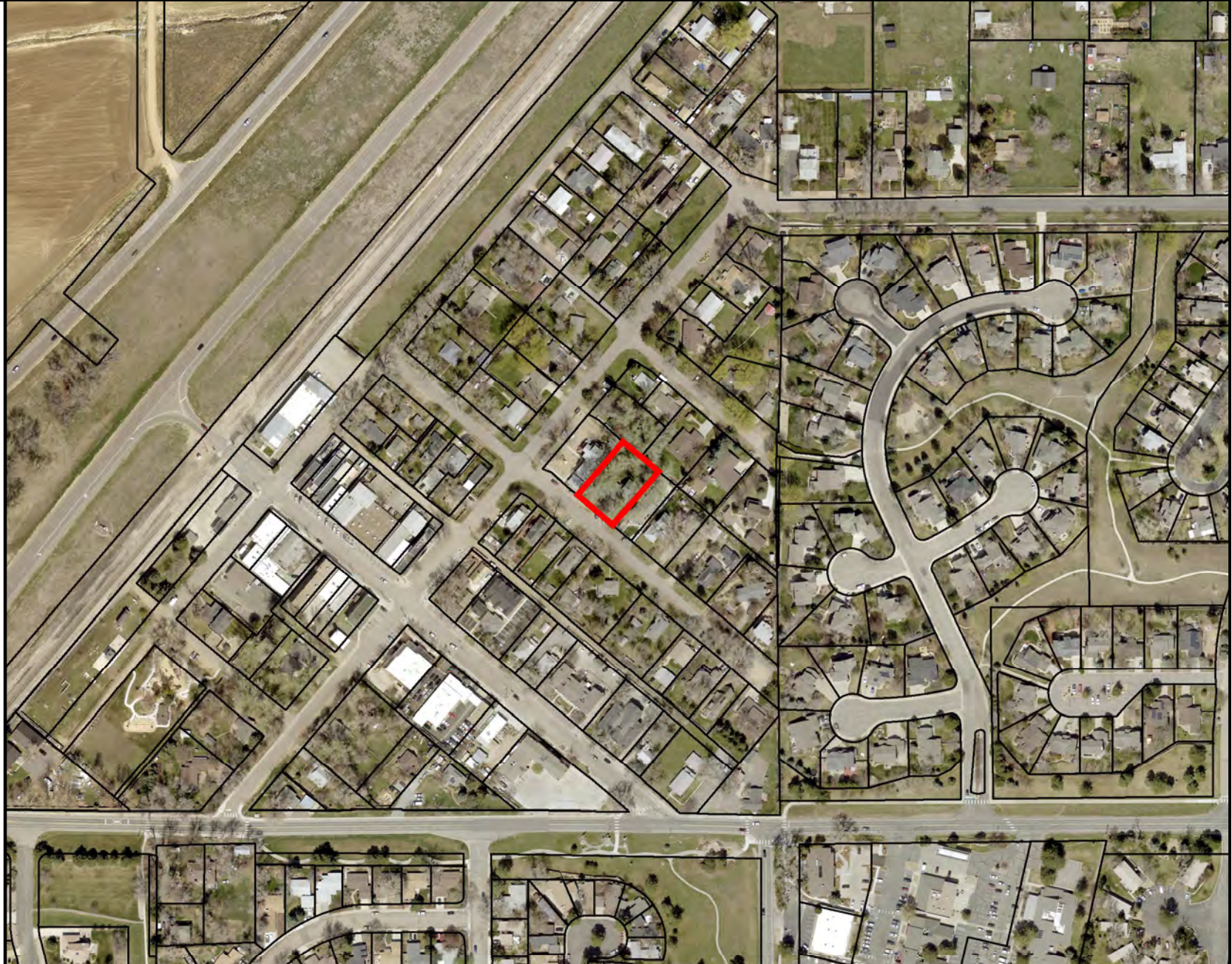


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Aerial  
240 3RD AVE

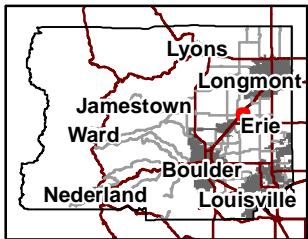
 Subject Parcel



0 0.025 0.05  
Miles



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## Comprehensive Plan

240 3RD AVE

Subject Parcel

### Significant Agricultural Land

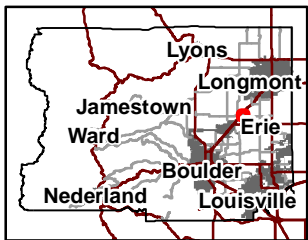
- Ag of National Importance
- Ag of Statewide Importance



0 0.025 0.05 Miles



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Zoning  
240 3RD AVE

Subject Parcel

### Major Road Setbacks

90 feet

160 feet

### Zoning Districts

Business

Multiple Family

NRCD I

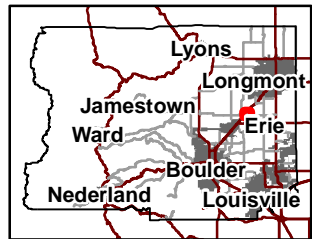
NRCD II

Rural Residential

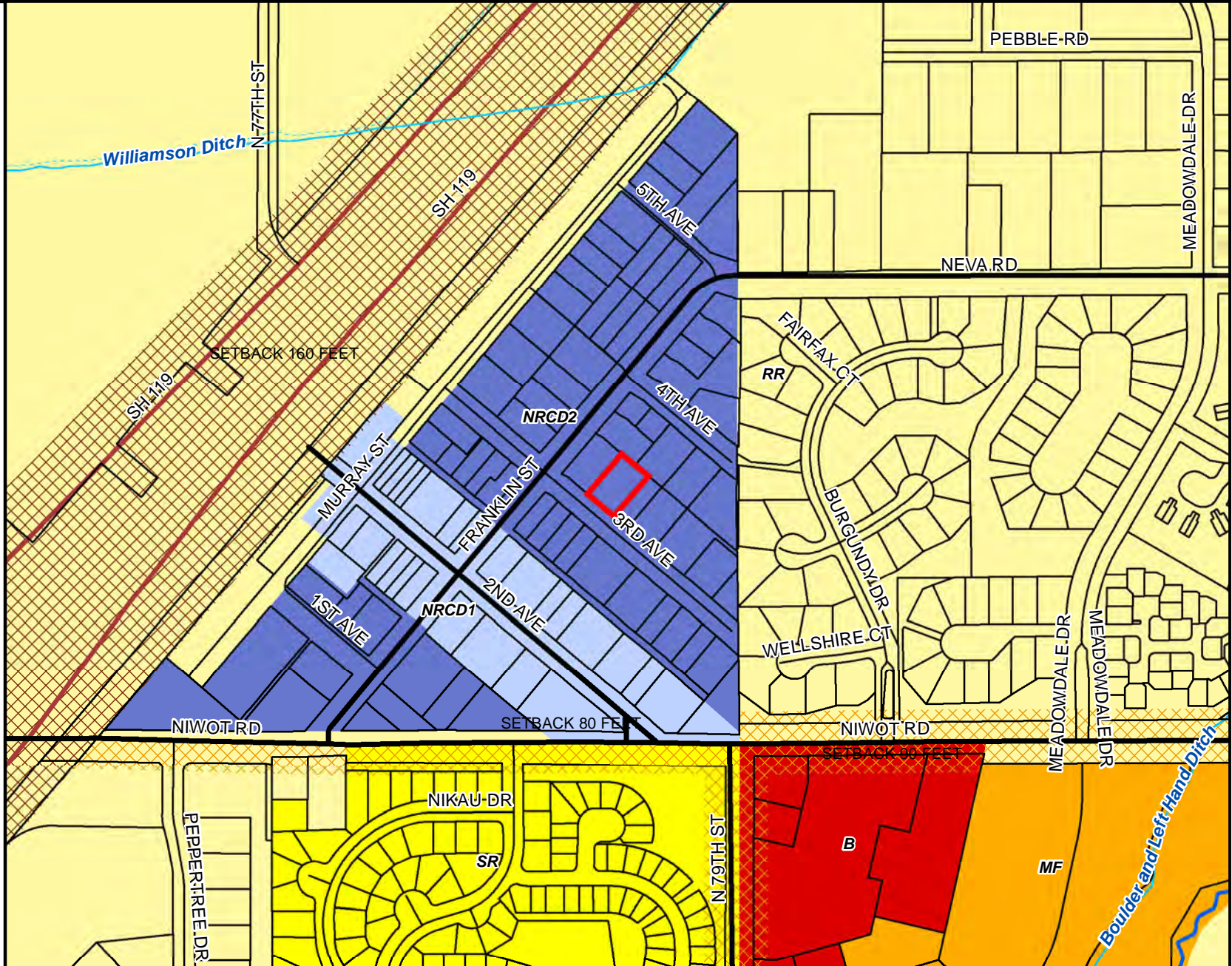
Suburban Residential

0 0.035 0.07 Miles

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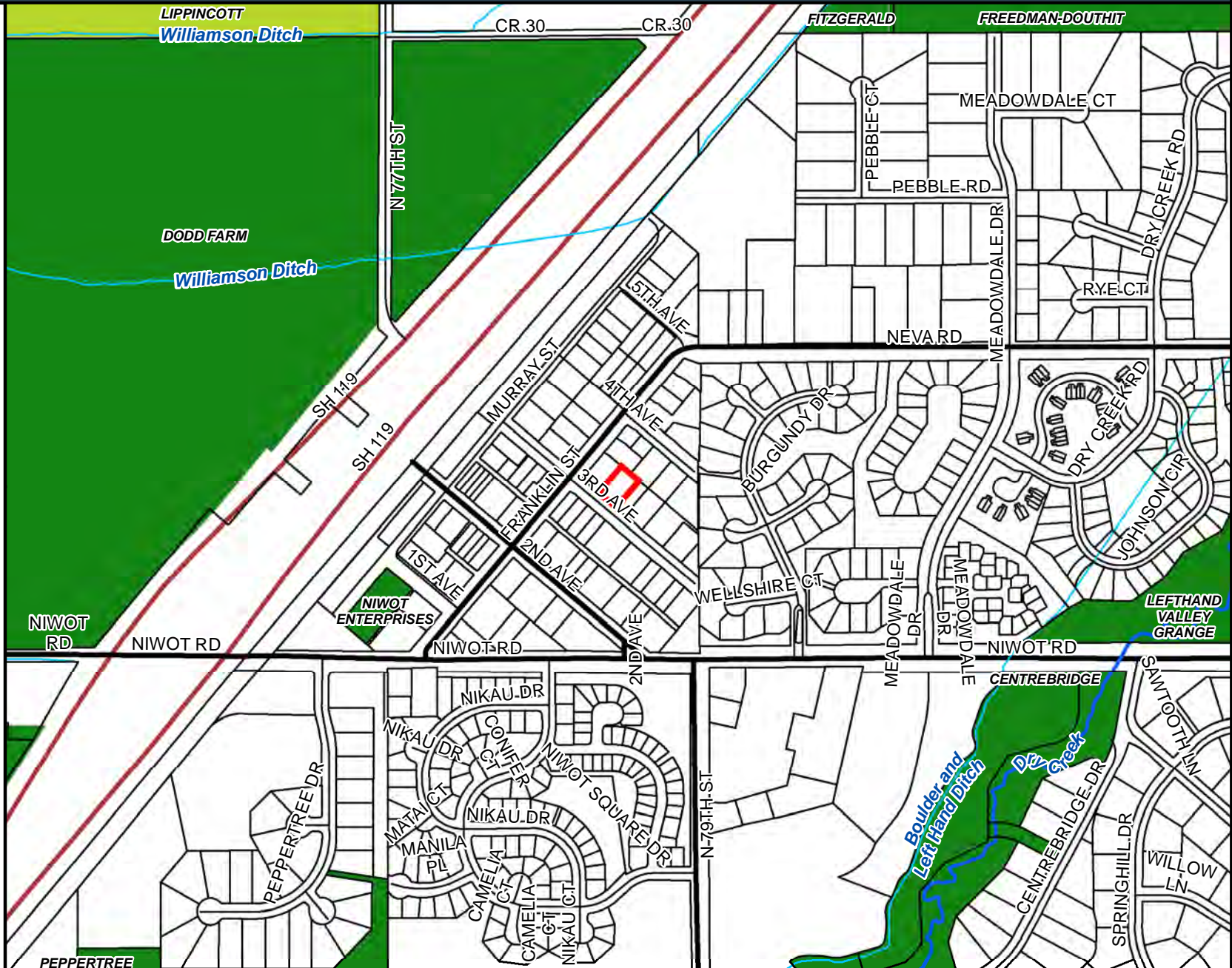
Public Lands & CEs

240 3RD AVE

Subject Parcel

## Boulder County Open Space

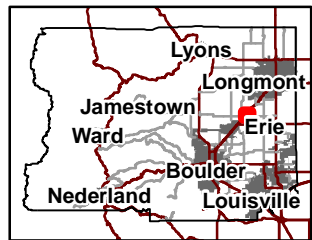
- County Open Space
- County Conservation Easement



0 0.05 0.1 Miles



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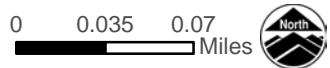
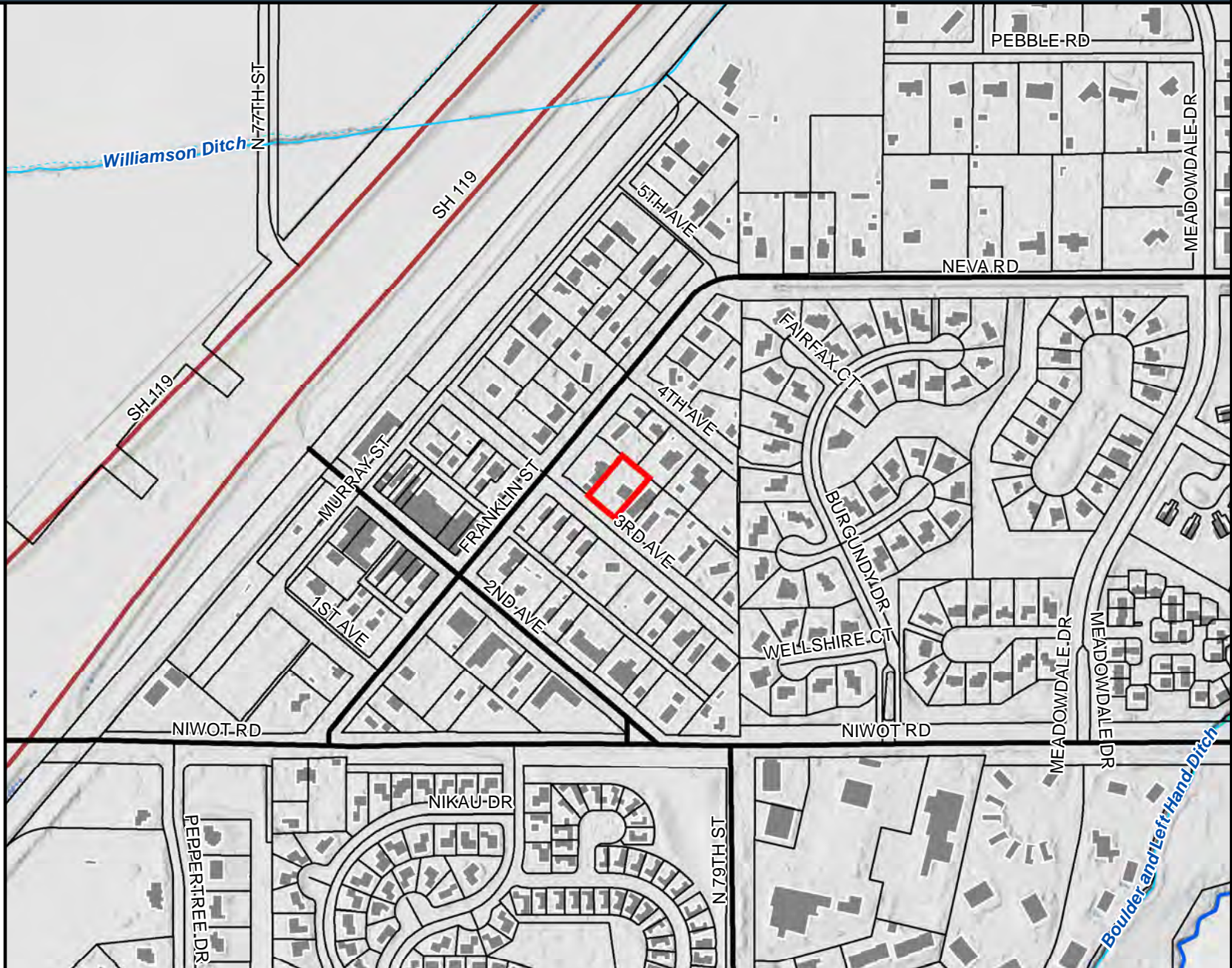
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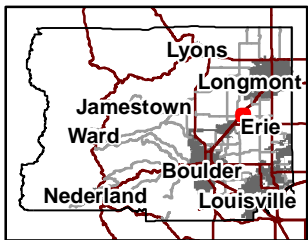
## Geologic Hazards

240 3RD AVE

-  Subject Parcel
-  Landslide high susceptibility area



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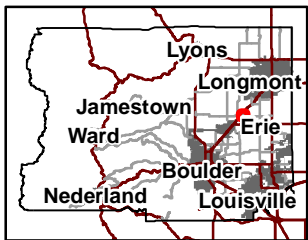
## Elevation Contours

### 240 3RD AVE

- Subject Parcel
- Contours 40'
- Contours 20'



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# Site Plan Review Fact Sheet

The applicant(s) is/are required to complete each section of this Site Plan Review (SPR) Fact Sheet even if the information is duplicated elsewhere in the SPR application. Completed Fact Sheets reduce the application review time which helps expedite the Director's Determination. Please make duplicates of this SPR Fact Sheet if the project involves more than two structures.

## Structure #1 Information

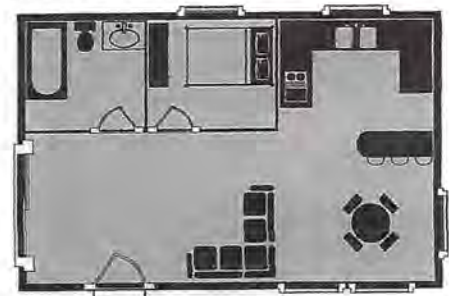
Type of Structure: (e.g. residence, studio, barn, etc.)					Residence					
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)					0 sq. ft.		Deconstruction:			
Are new floor areas being proposed where demolition will occur? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)										
Proposed Floor Area (New Construction Only)					<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential					
	Finished	Unfinished	Total	Height (above existing grade)						
Basement:	sq. ft.	sq. ft.	sq. ft.	19' 11"						
First Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Material	Fiber Cement Lap Siding, Cedar Shake					
Second Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Color	White					
Garage:				Roofing Material	Asphalt Shingles					
<input checked="" type="checkbox"/> Detached	974	sq. ft.	974	Roofing Color	Grey					
<input type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.							
*Covered Porch:	sq. ft.	sq. ft.	sq. ft.							
Total:	974	sq. ft.	974	Total Bedrooms	1					

## Project Identification:

Project Name:	240 3rd Ave Garage Shop
Property Address/Location:	240 3rd Ave
Current Owner:	Morgan Lomelle + Kevin Wagenschutz
Size of Property in Acres:	0.31

## Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. **Covered porch area that is attached to the principal structure is not included (see Article 18-131A).** The shaded area on the diagram indicates the area counted as square feet.



## Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)										
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)							Deconstruction:			
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)										
Proposed Floor Area (New Construction Only)					<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential					
	Finished	Unfinished	Total	Height (above existing grade)						
Basement:	sq. ft.	sq. ft.	sq. ft.							
First Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Material						
Second Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Color						
Garage:				Roofing Material						
<input type="checkbox"/> Detached	sq. ft.	sq. ft.	sq. ft.	Roofing Color						
<input type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.							
*Covered Porch:	sq. ft.	sq. ft.	sq. ft.							
Total:	sq. ft.	sq. ft.	sq. ft.	Total Bedrooms						

## Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

**Note:** If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

**If a Limited Impact Special Review is required,** then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

\*See Article 18-131A for definition of covered porch.

## Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

## Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

**Note:** Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

## Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal
Driveway and Parking Areas	12.35 c.y.	0	12.35
Berm(s)			
Other Grading Walkway	5.86 c.y.	0	5.86
Subtotal	18.22		18.22 c.y. Box 1

\* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.

	Cut	Fill	Total
Foundation	141.33 c.y.	141.33	141.33 c.y.
Material cut from foundation excavation to be removed from the property			0

## Excess Material will be Transported to the Following Location:

Excess Materials Transport Location:

## Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If more room is needed, feel free to attach a separate sheet.

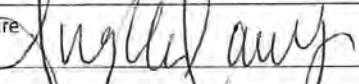
<p><u>Description of the project:</u> New detached garage/shop (974 sq ft). The new garage/shop would include a 1/2 bath, 1 studio, and a shop. It does not include a kitchen or kitchenette.</p> <p><u>Narrative:</u> 125% median square footage is 2,609 for this property. Since we are already over this presumptive maximum we are applying for the Accessory Residential Structure. During the review process, we would like to request the omission of the basement (832 SQ FT) and the two sheds (144 SQ FT) from the prescriptive median total in order to allow more square footage to be dedicated to the new detached garage/shop.</p>
--

## Is Your Property Gated and Locked?

**Note:** If county personnel cannot access the property, then it could cause delays in reviewing your application.

## Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature 	Print Name Angera Lawry	Date 4/20/22
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# 240 3rd AVE. GARAGE SHOP



## RENDERING

FOR ILLUSTRATION ONLY

OWNER: MORGAN LOMMELE  
PHONE: 720-470-2981, 901-258-3130

PROJECT: GARAGE SHOP  
ADDRESS: 240 3RD AVENUE  
LEGAL: LOT 17,18,19 AND 20

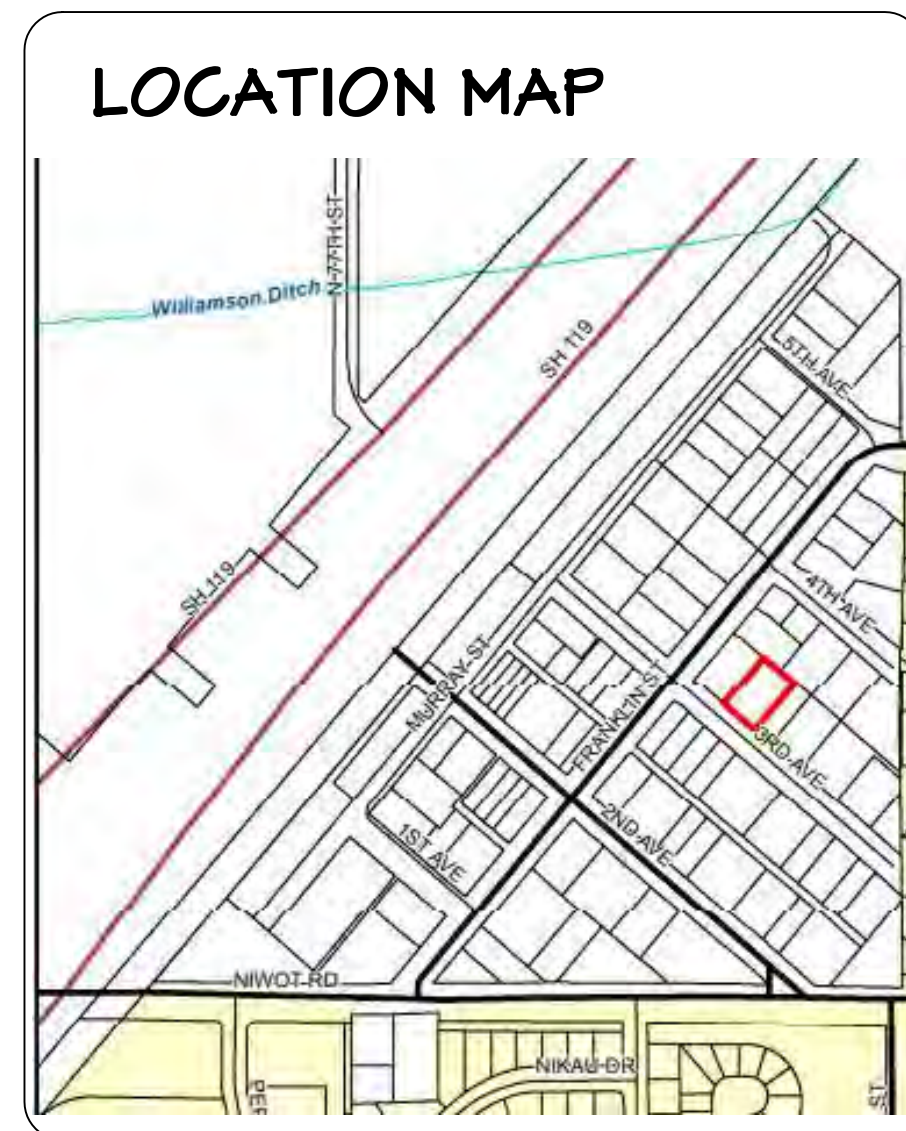
FIRE DISTRICT: MOUNTAIN VIEW FIRE  
WATER/SEWER: BOULDER COUNTY

SPR APPROVAL: \_\_\_\_\_  
BUILDING PERMIT: \_\_\_\_\_  
PREPARATION DATE: \_\_\_\_\_

DESIGNER: SOBO HOMES INC.  
PHONE: 720-381-0945  
DESIGN CONSULTANT: SOBO HOMES INC.  
BUILDER: SOBO HOMES INC.  
ENGINEERING: \_\_\_\_\_

### TABLE OF CONTENTS:

- A1. TITLE SHEET
- A2. SITE PLAN
- A3. LANDSCAPE PLAN
- A4. EARTHWORK & GRADING PLAN
- A5. FLOOR PLAN & MEP
- A6. ELEVATIONS
- A7. ELEVATIONS



## GENERAL NOTES:

### DESCRIPTION OF PROJECT:

NEW DETACHED GARAGE/SHOP (974 SQ FT). THE NEW GARAGE/SHOP WOULD INCLUDE A 1/2 BATH, 1 STUDIO, AND A SHOP. IT DOES NOT INCLUDE A KITCHEN OR KITCHENETTE.

### NARRATIVE:

125% MEDIAN SQUARE FOOTAGE IS 2,609 FOR THIS PROPERTY. SINCE WE ARE ALREADY OVER THIS PRESUMPTIVE MAXIMUM WE ARE APPLYING FOR THE ACCESSORY RESIDENTIAL STRUCTURE. DURING THE REVIEW PROCESS, WE WOULD LIKE TO REQUEST THE OMISSION OF THE BASEMENT (832 SQ FT) AND THE TWO SHEDS (144 SQ FT) FROM THE PRESCRIPTIVE MEDIAN TOTAL IN ORDER TO ALLOW MORE SQUARE FOOTAGE TO BE DEDICATED TO THE NEW GARAGE/OUTBUILDING.

### ASSESSOR:

CLASS: SINGLE FAMILY RES IMPROVEMENTS  
DESIGN: 1-STORY RANCH  
BUILD: 1945  
REMODELED: 2008  
-FIRST FLOOR (ABOVE GRADE) FINISHED AREA: 1861  
-SUBTERRANEAN BASEMENT UNFINISHED AREA: 832  
-ENCLOSED PORCH AREA: 126  
TOTAL: 2819  
-(2) TOOL SHED: 144

# LOCATION INFORMATION

THE PROPOSED SITE LOCATION IS 240 3RD AVE, NIWOT CO 80503. LOT 17, 18, 19 AND 20. BLOCK 22, NIWOT, BOULDER COUNTY. THE PROPOSED PROJECT INCLUDES A DETACHED GARAGE/SHOP.

AREA: 15,000 (.34a.)  
 ZONING: NRCD2 (0.34 ACRES)  
 FLOODPLAIN: BOULDER COUNTY: NOT PRESENT;  
 FEMA: X (0.34 ACRES)  
 OPEN SPACE OWNERSHIP: NOT PRESENT  
 COUNTY PLATS: NIWOT (TOWNSITE) (0.31 ACRES)  
 WIND AND SNOW LOAD: 150 MPH. 40 LBS/SQFT.  
 FIRE PROTECTION: MOUNTAIN VIEW FIRE.

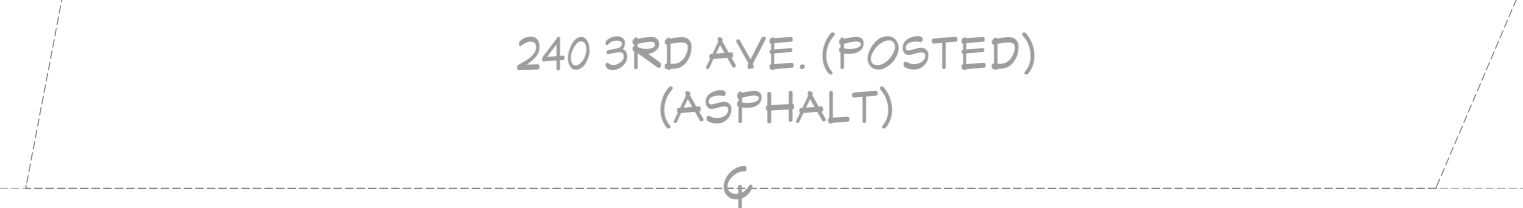
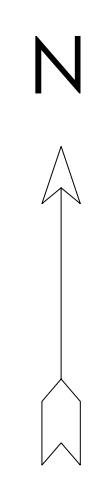
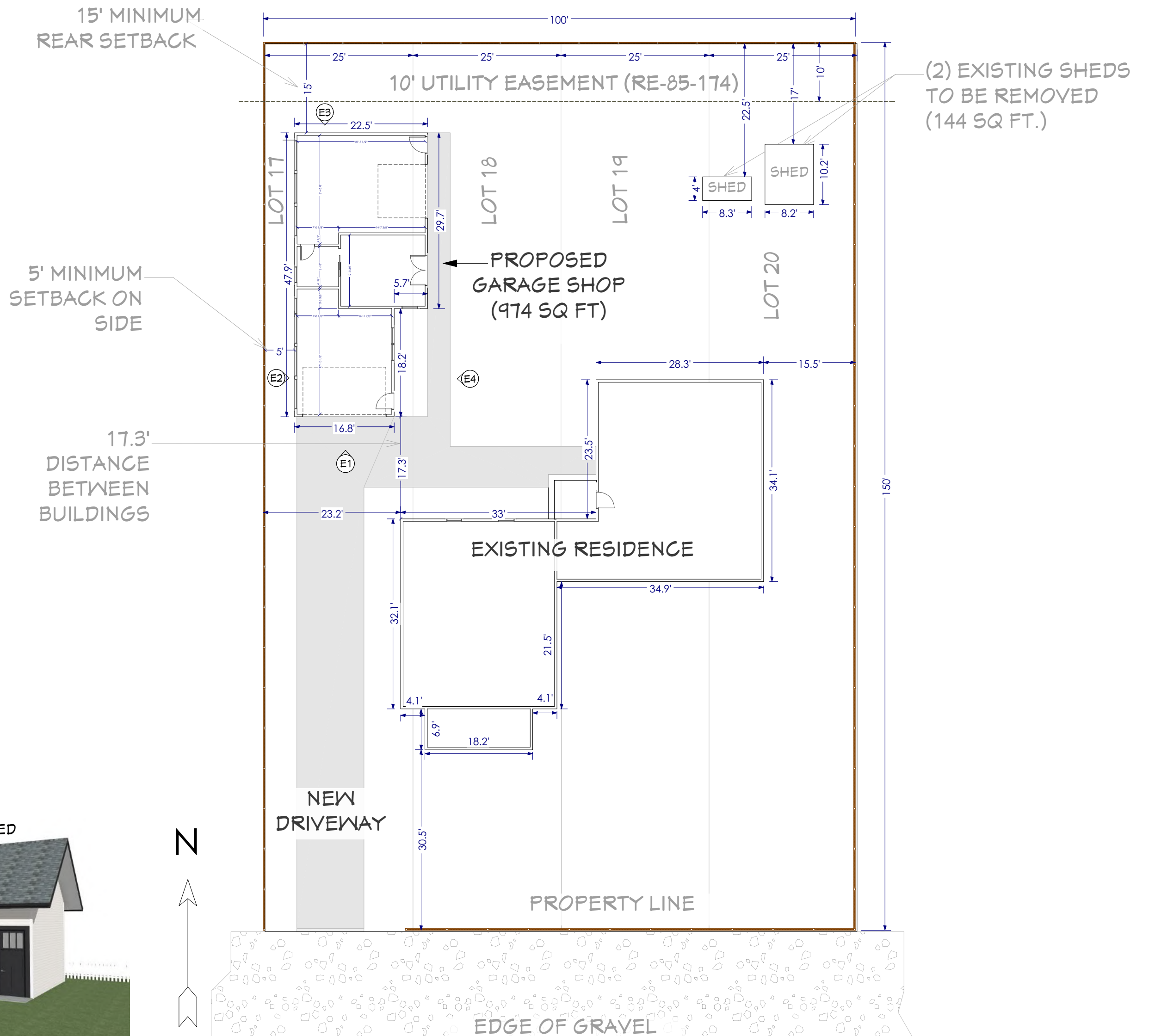
PROPOSED GARAGE LOCATION STACKED PRIOR TO APPROVAL AND EXCAVATION. PER SPR REVIEW REQUIREMENTS.

### GRADING NOTES:

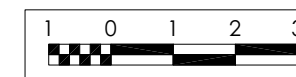
1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM.
3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.



**RENDERING**  
FOR ILLUSTRATION ONLY



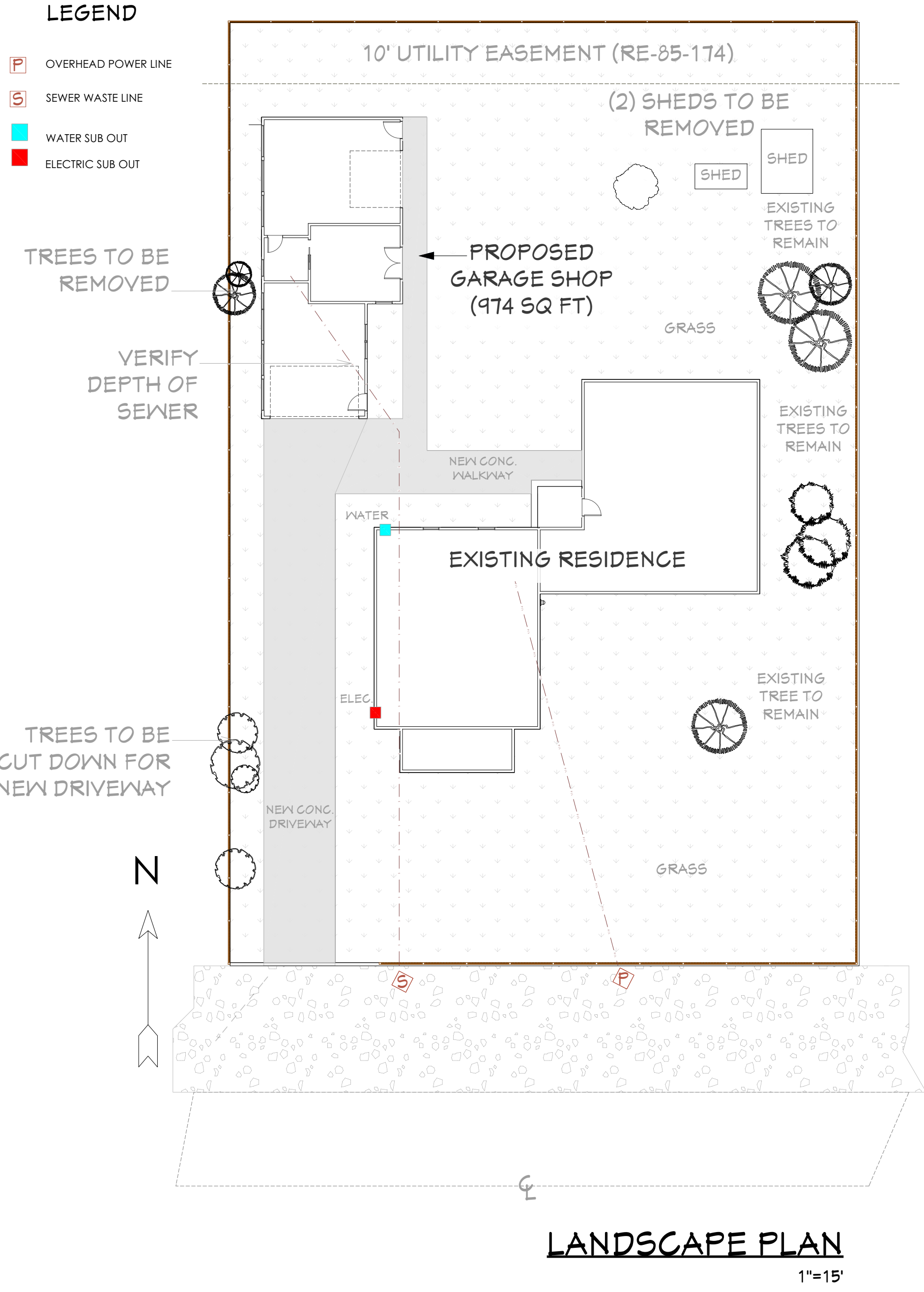
**SITE PLAN**  
1"=15'



**EXISTING PROPERTY IMAGES**



**KEY**  
 : LOCATION OF PROPOSED DETACHED GARAGE/SHOP







**EARTH WORK AND GRADING:**

1. REVIEW TRIGGERS:  
-LESS THAN 50 CUBIC YARDS. NO REVIEW REQUIRED.

2. FOUNDATION

**2. GRADING CALCULATION:**

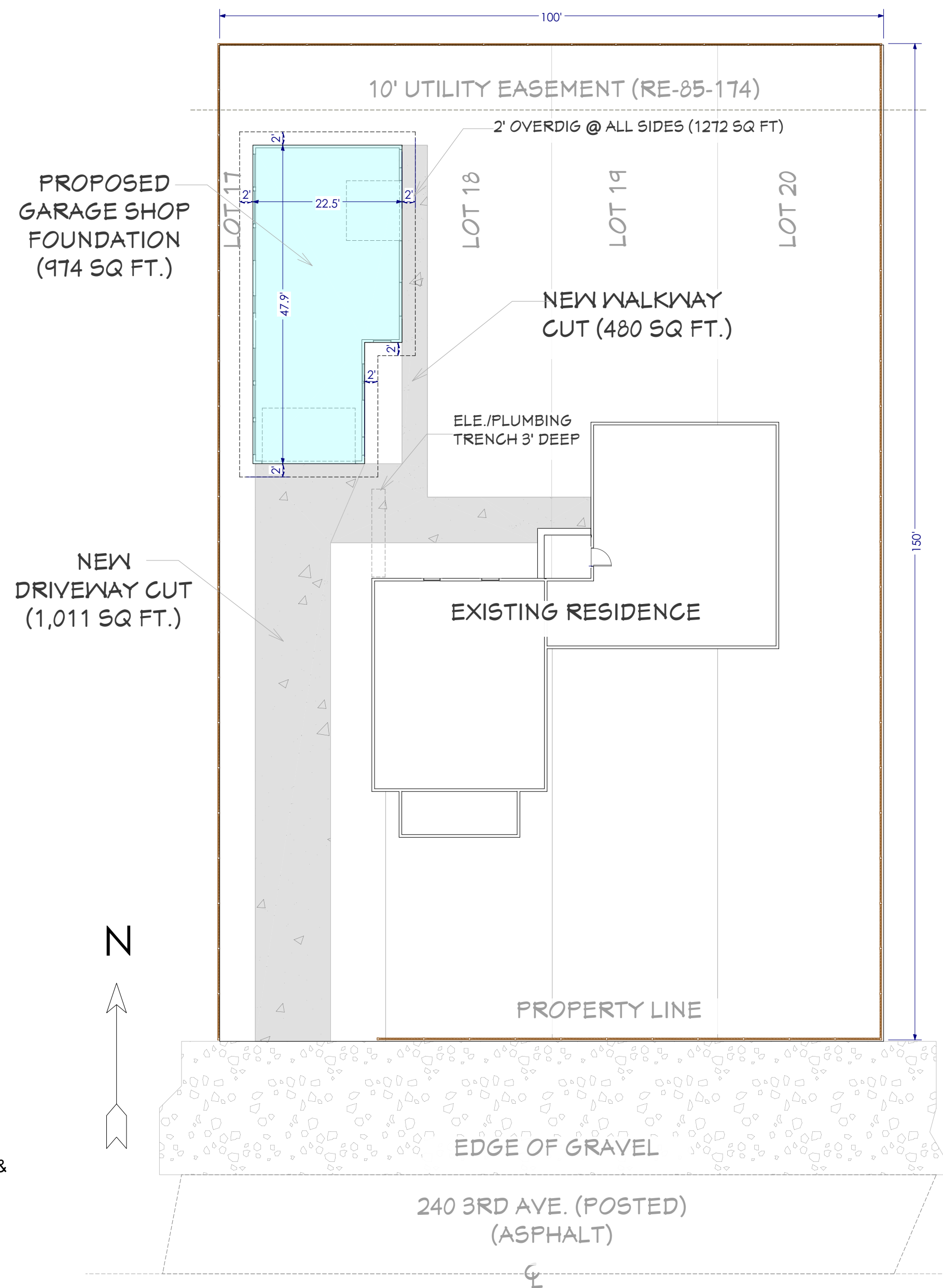
NEW DRIVEWAY AND WALKWAY AREA:  
(GRUB TOP 4" OF EARTH TO PREP FOR NEW DRIVEWAY & WALKWAY)

1,011 SQ FT. X (4"=.33') = 333.63 CU FT.  
480 SQ FT. X (4"=.33') = 158.4 CU FT.

TOTAL: 492.03 CU FT. = (18.22 CU YARD)

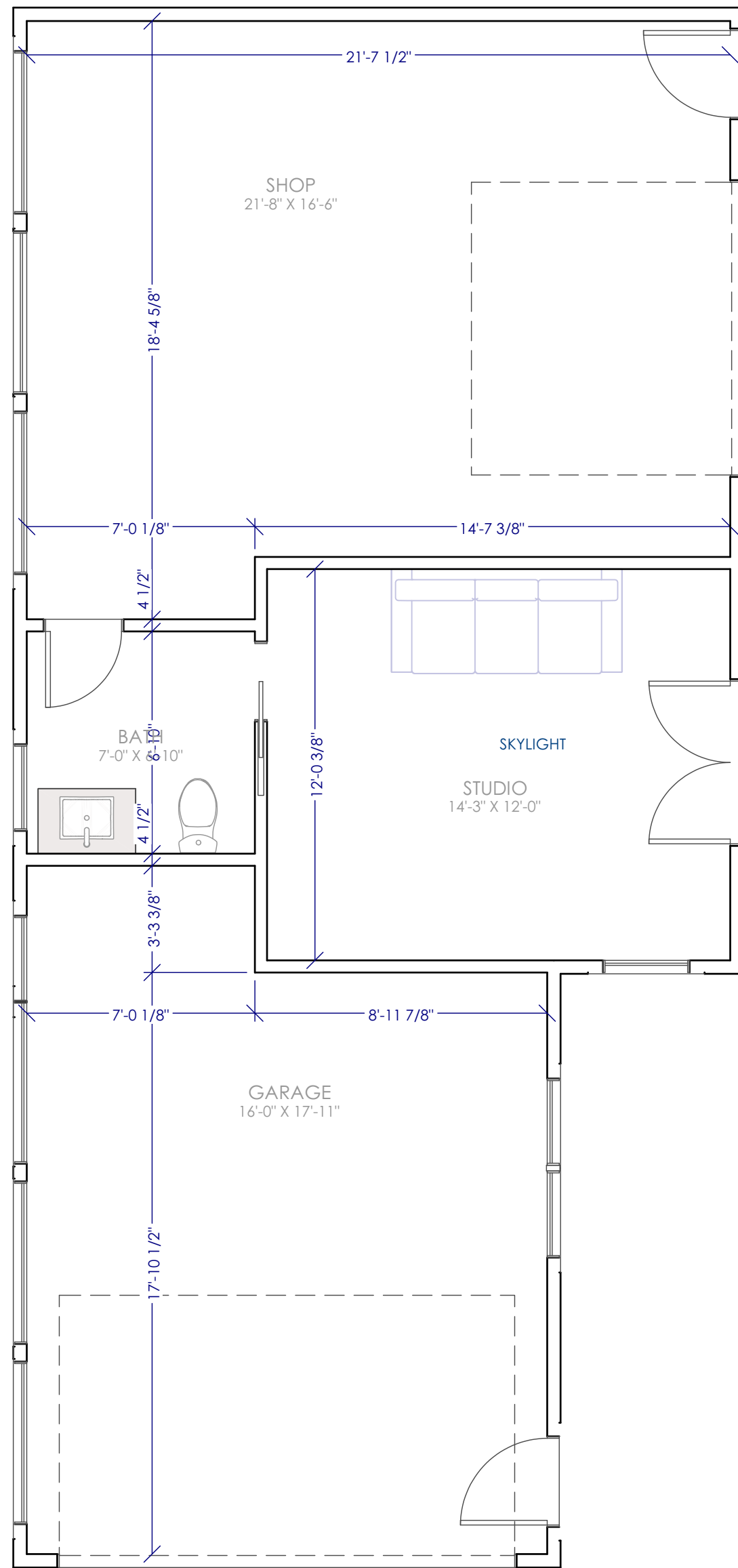
FOUNDATION:  
1,272 SQ FT. X (3'= 3.0) = 3816 CU FT.  
(141.33 CU YARD)

PROJECT TOTAL : 159.55 CUBIC YARDS

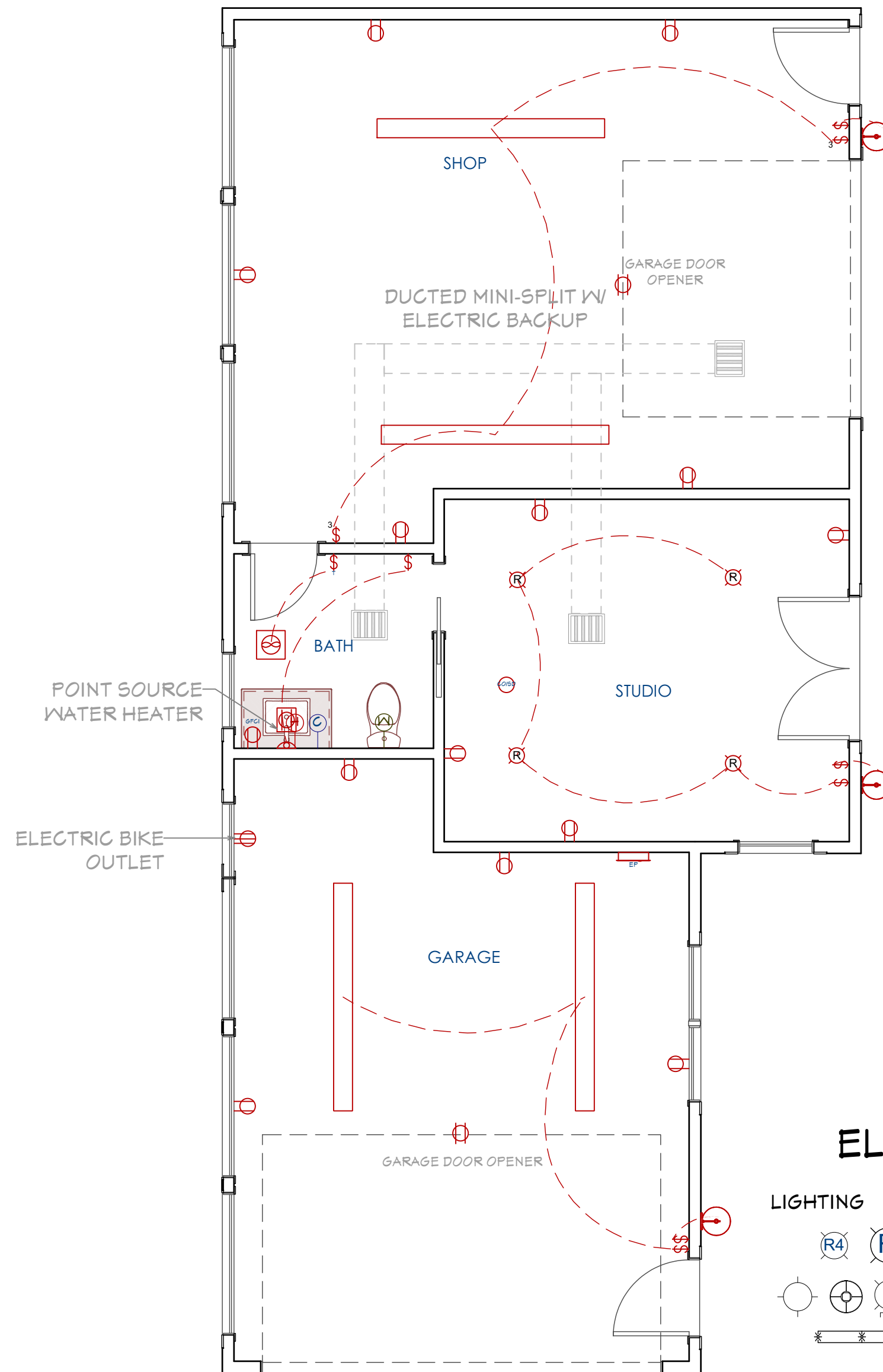


**EARTH WORK AND GRADING PLAN**

1"=15'



**FLOOR PLAN**  
1/4"=1'



**ELECTRICAL PLAN**  
1/4"=1'

**GENERAL NOTES:**

- ELECTRICAL:**
- ALL OUTDOOR LIGHTING SHALL BE FULLY SHIELDED AND DOWNLIT PER DARK-SKY CODE REQUIREMENT.
  - ELECTRICAL OUTLETS IN ROOMS SHALL BE INSTALLED PER CODE TYP.
  - HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, AND SWITCHES.
  - ELECTRICAL RECEPTACLES IN THE BATHROOM AND GARAGE SHALL BE G.F.C.I. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
  - ALL VENTILATION FANS SHALL BE ON TIMER SWITCHES.
  - PROVIDE ONE SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS.

**ELECTRICAL LEGEND**

**LIGHTING**

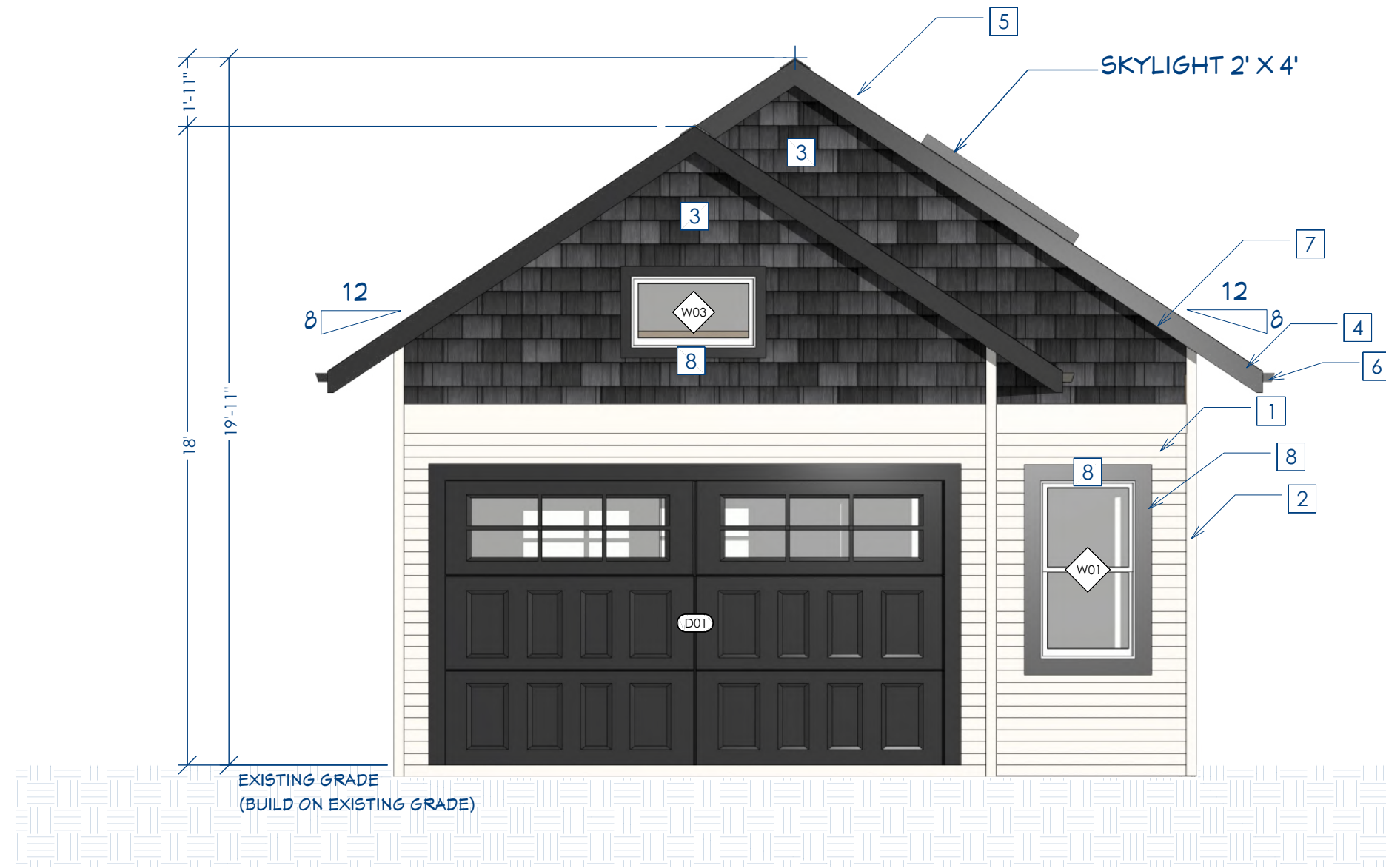
- (R4) (R) (R) RECESSED 4" & 6" CANS / WET RATED
- (P) (W) (S) PENDANTS / WALL LAMP / SCONGE
- (L) LONG SURFACE MOUNTED TUB LIGHT
- (F) FAN / FAN LIGHT. 200 CFM MIN.

**SWITCHES / OUTLETS**

- (S3) SWITCH / 3-WAY
- (GFCI) (WP) OUTLETS - LED LIGHT / USB 5V & 120V / 120V WALL & CEILING GFCI / WATER PROOF / 220V

**OTHER MEP**

- (CO/SD) (T) SMOKE DETECTOR / CO / THERMOSTAT



**E1 FRONT ELEVATION**  
1/4"=1'

WINDOW SCHEDULE						
NUMBER	QTY	EGRESS	WIDTH	HEIGHT	TEMPERED	DESCRIPTION
W01	3		32"	60"		DOUBLE HUNG
W02	1		32"	48"		DOUBLE HUNG
W03	1		42"	24"		FIXED GLASS
W04	6		60"	18"		FIXED GLASS

DOOR SCHEDULE				
NUMBER	QTY	WIDTH	HEIGHT	DESCRIPTION
D01	1	168"	96"	GARAGE-GARAGE DOOR CHD05
D02	1	28"	80"	POCKET-PANEL
D03	1	28"	80"	EXT. HINGED-PANEL
D04	2	32"	96"	EXT. HINGED-DOOR E21
D06	1	60"	96"	EXT. DOUBLE HINGED-GLASS PANEL
D07	1	108"	96"	GARAGE-AVANTE 3 PANEL 21"

**EXTERIOR KEY NOTES**

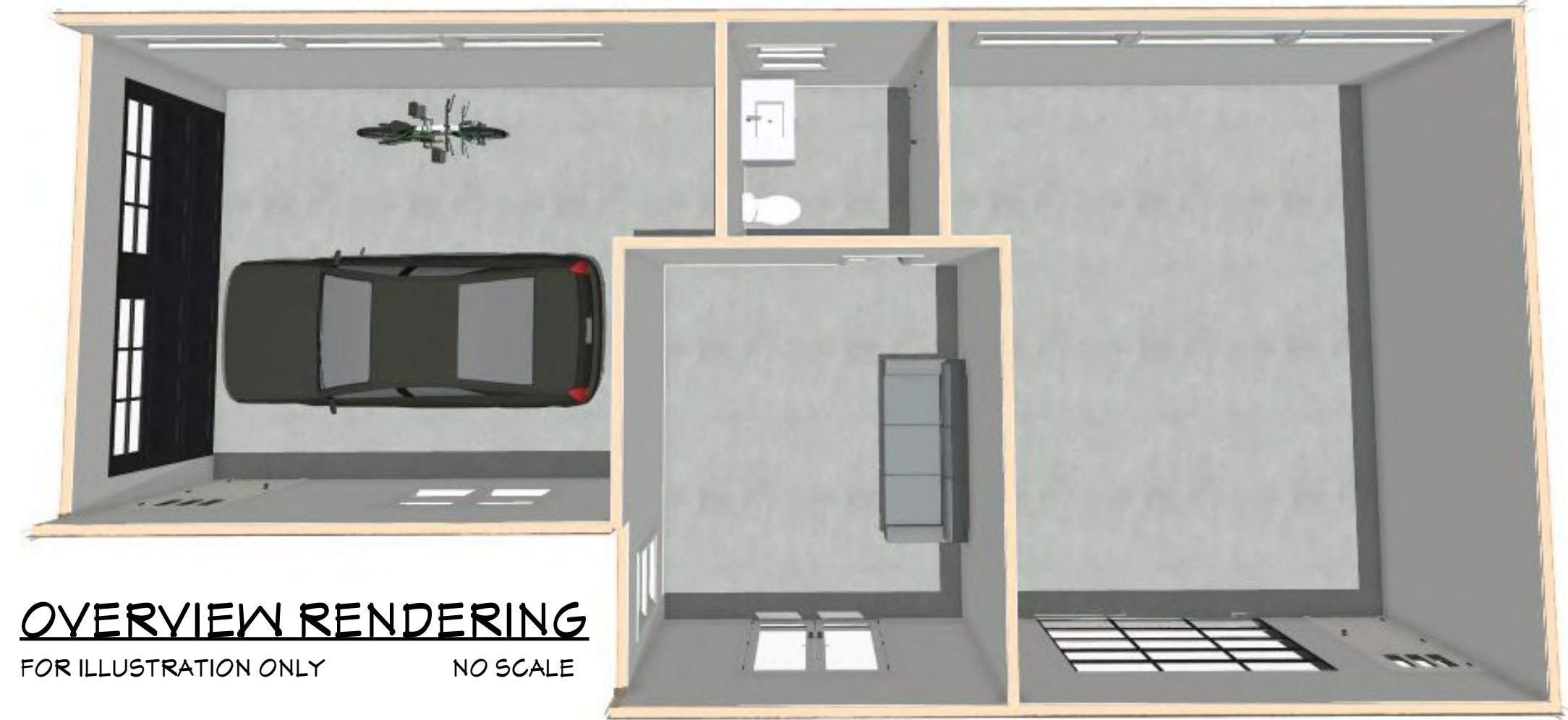
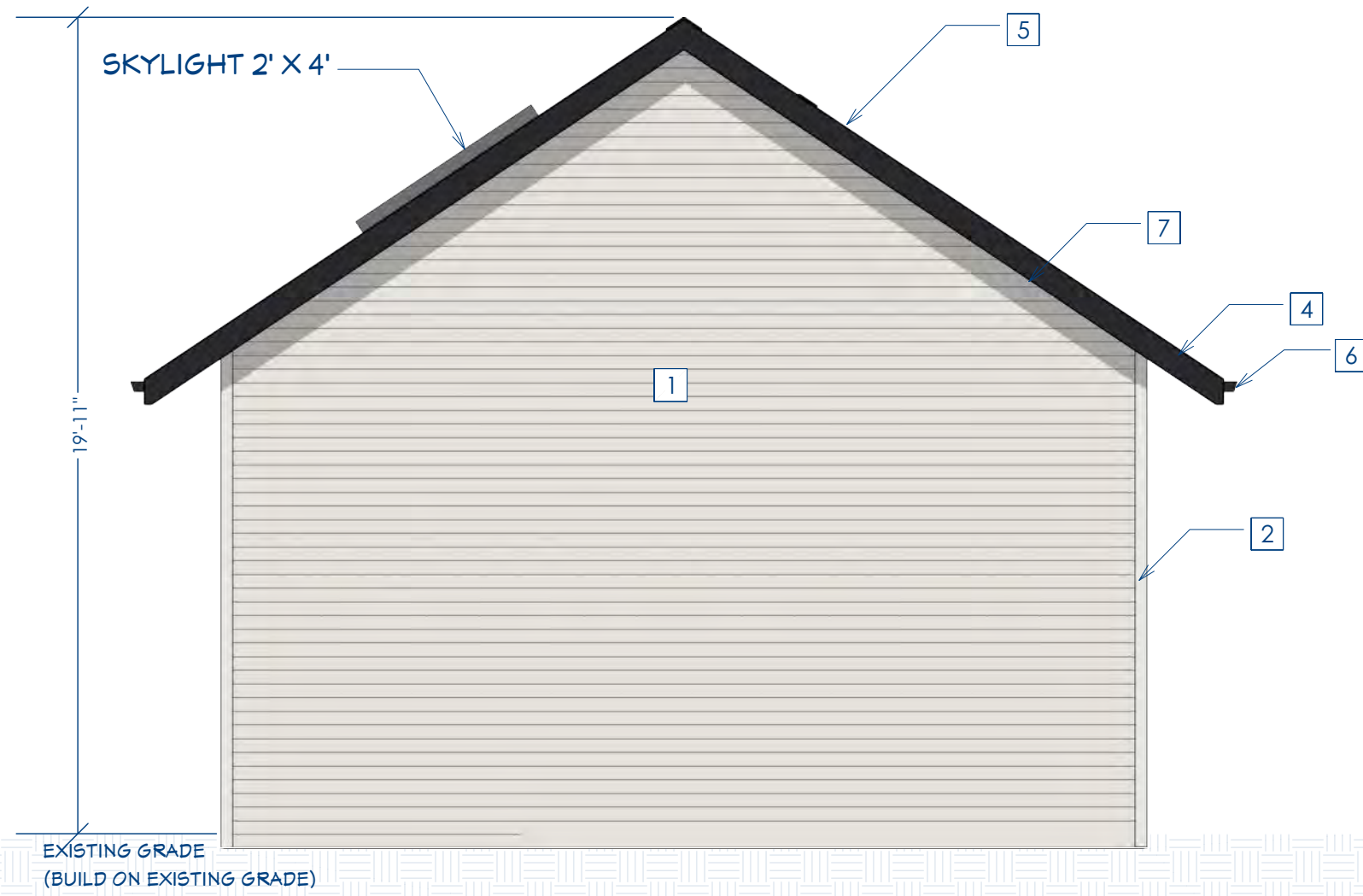
- 1 PAINTED FIBER CEMENT LAP SIDING
- 2 PAINTED CORNER BOARDS
- 3 CEDAR SHAKE SIDING
- 4 23" OVERHANG, EAVE FLASHING, AND VENTED
- 5 ASPHALT SHINGLES
- 6 GUTTERS
- 7 FIBER CEMENT 1X8 FASCIA
- 8 WINDOW TRIM

**BUILDING PERFORMANCE:**

1. NEW CONDITIONED BUILDING SHALL COMPLY WITH BUILDSMART AND/OR REQUIREMENTS OF LOCAL CODES.
2. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.
3. SLAB ON GRADE FOUNDATION PER PLAN.
4. MINIMUM INSULATION:  
 SKYLIGHT U-FACTOR: 0.45  
 CEILING R-54  
 WALLS R-19+10  
 FLOORS R-42  
 SLAB EDGE R-VALUE AND DEPTH: 15, 3 FT



**E2 LEFT SIDE ELEVATION**  
1/4"=1'



**E3** **BACK ELEVATION**  
1/4"=1'

**EXTERIOR KEY NOTES**

- 1 PAINTED FIBER CEMENT LAP SIDING
- 2 PAINTED CORNER BOARDS
- 3 CEDAR SHAKE SIDING
- 4 23" OVERHANG, EAVE FLASHING, AND VENTED
- 5 ASPHALT SHINGLES
- 6 GUTTERS
- 7 FIBER CEMENT 1X8 FASCIA
- 8 WINDOW TRIM



**E4** **RIGHT SIDE ELEVATION**  
1/4"=1'