

Courthouse Annex - 2045 13th Street - Boulder, Colorado 80302 - (303) 441-3930 - Fax 303-441-4856 **Mailing Address:** Post Office Box 471 - Boulder, Colorado 80306 **www.bouldercounty.org**

MEMORANDUM

TO: Agencies, Adjacent Property Owners And Interested Parties

FROM: Abigail Scheuermann, Planner I

SUBJECT: Request to waive Site Plan Review at

8217 WILLOW LANE, UNINCORPORATED, CO 80503

DOCKET: SPRW-22-0045: Beveridge Attached Garage and Screened Porch

DATE: 10/10/2022

The purpose of this memorandum is to inform interested parties that the above listed address is under consideration by the CPP Director for a waiver from the Site Plan Review process for:

Site Plan Review Waiver request proposing the construction of a 788 square-foot attached garage and a 205-square-foot closed in porch on a .73 acre parcel with 5,782 square-feet of existing residential floor area and a presumptive size maximum of 7,054 square-feet.

The Site Plan Review (SPR) regulations allow for certain types of minor projects, which are likely to be less impacting, to be waived from the full SPR process that would normally be required to approve their construction. These projects are eligible for an expedited review called the "Site Plan Review Waiver (SPRW)," during which the SPR standards are analyzed in a shorter timeframe.

In the plains, nonresidential accessory structures that are less than 5,000 square feet are eligible for this expedited review; in the mountainous areas of the county, nonresidential accessory structures less than 2,000 square feet are eligible for this expedited review. Additionally, increases in residential floor area up to 2,000 sq.ft., which result in a total residential size on the parcel that is 125% or less of the median residential floor area for the defined neighborhood may be reviewed through this expedited review, as well as earthwork involving less than 500 cubic yards.

Waivers from SPR may be granted if the CPP Department does not find the proposal to be in conflict with the standards listed in Article 4-806 of the Boulder County Land Use Code. However, the SPRW determination may include written terms and conditions. The project, even if granted a waiver, is subject to the applicable building permit and building code requirements.

Article 4-802(C) requires that adjacent property owners be notified of the request to waive SPR. The CPP Department appreciates any comments that you may have regarding this proposal. Please direct any written or verbal comments to the CPP Department by 10/17/2022. If you have any questions or comments, feel free to contact this office at planner@bouldercounty.org or (303) 441-3930.

HOLMES JEFFREY GILBERT, Property Owner

Ben Beveridge, Agent



Boulder County Land Use Department Courthouse Annex Building 2045 13th Street • PO Box 471 • Boulder, Colorado 80302 Phone: 303-441-3930 Email: planner@bouldercounty.org Web: www.bouldercounty.org/lu Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m. Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Use Only								
Intake Stamp								

Planning Application Form

		schedule a submittal d		
Project Number			Project Name	
Appeal Correction Plat Exemption Plat Final Plat Limited Impact Special Use Limited Impact Special Use Location and Extent	Waiver	Modification of Site F Review Modification of Speci Use Preliminary Plan Resubdivision (Repla Rezoning	Road/Easement Vacation Site Plan Review Site Plan Review Waiver	☐ Special Use (Oil & Gas development) ☐ State Interest Review (1041) ☐ Subdivision Exemption ☐ Variance ☐ Other:
Location(s)/Street Address(es) 82	17	willow	Lane	
Subdivision Name SPring	hill	Sub Pu	d replat A NI	V GO
Lot(s) Block	k(s) 2_	Section(s)	1 - 2N-C9 Township(s)	Range(s)
Area in Acres 3/4 Exist	ting Zoning R	R Existing Use	of Property Pesidental	Number of Proposed Lots
Proposed Water Supply		Proposed So	wage Disposal Method	
Applicants:				
Applicant Property Owner Sen	Berel	Idae-	Email blevering	@ Parch Fronthomes.co
Mailing Address 2 2 V	4V		1 0000	e pos en promisioned, c
	,			
cityWinot	State	Zip Code 8054	4 Phone 720-36	0-8166
	_	Zip Code 8054 F HOLMEN	4 Phone 720-36 Email ferris_h	0-8166 @ Hotmail.com
	_	F HOLMES Law Land	7 /20- 36	0-8166 @Hotmail.com
	_	Exp Code 8054 f Holmas Law Land Zip Code 8050	7 /20- 36	0-8166 @ Hotmail.com
Mailing Address 8217 Sity N: WO+	Wil Wil	f Holmes Lar Lane	Email ferrish	0-8166 @Hotmail.com
Mailing Address 8217 City N: WOT	Wil Wil	f Holmes Lar Lane	Email ferris_h Phone	0-8166 @Hotmail.com
Mailing Address & 2 1 7 City N: WO + Agent/Consultant Mailing Address	Wil Wil	f Holmes Lar Lane	Email ferris_h Phone	0-8166 @Hotmail.com
Mailing Address & 2 1 7 City N. WOT Agent/Consultant Mailing Address City	Itant Tef Inil State State	F HOLMES Law Land Zip Code 8050	Email ferris_h Phone Phone	
certify that I am signing this Appli xhibits I have submitted are true a ubmitted prior to having this mat agreement of Payment for Applica hay arise in the processing of this understand that I am consenting property at any reasonable time, w	State St	Zip Code Zip Co	Email Ferri S_h Phone Phone Submittal Package for complete a	application requirements.) ation. I certify that the information and equired by Boulder County must be uired. I understand that I must sign and as a result of considerations which equired as a condition of approval. enter onto and inspect the subject

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.

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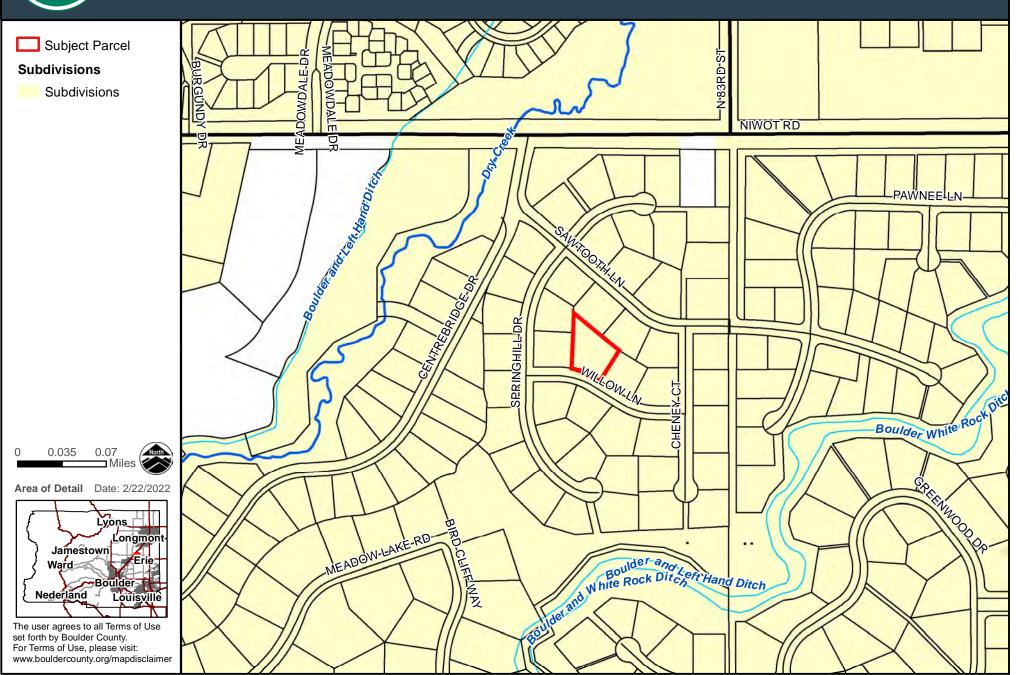
Vicinity

8217 WILLOW LN



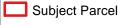
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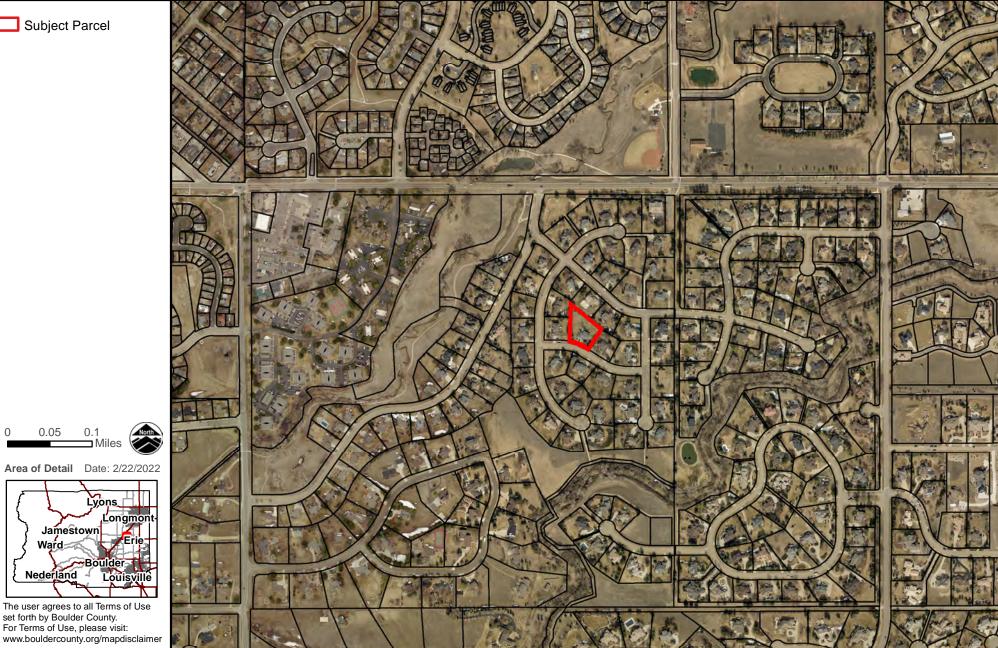
Location 8217 WILLOW LN



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Aerial 8217 WILLOW LN





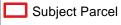
Jamestown

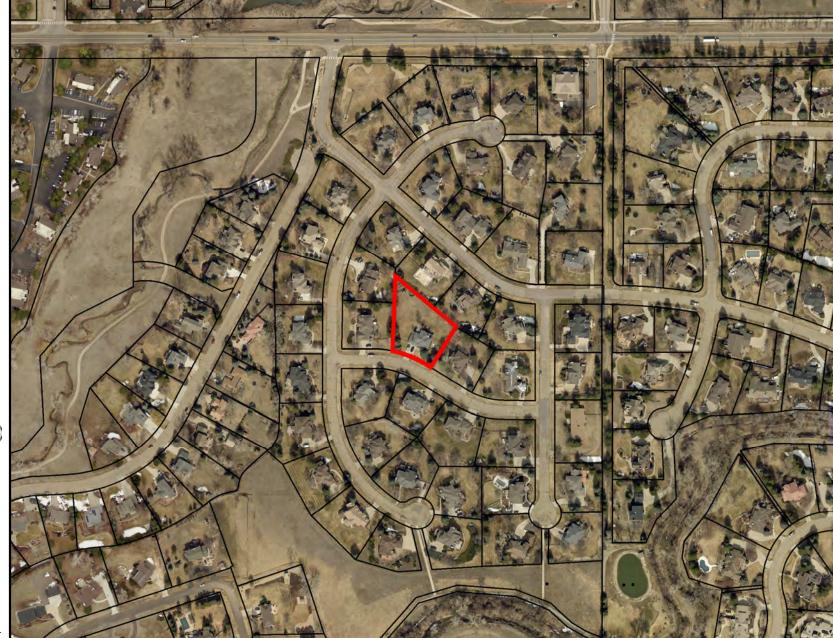
Nederland

-Boulder

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Aerial 8217 WILLOW LN





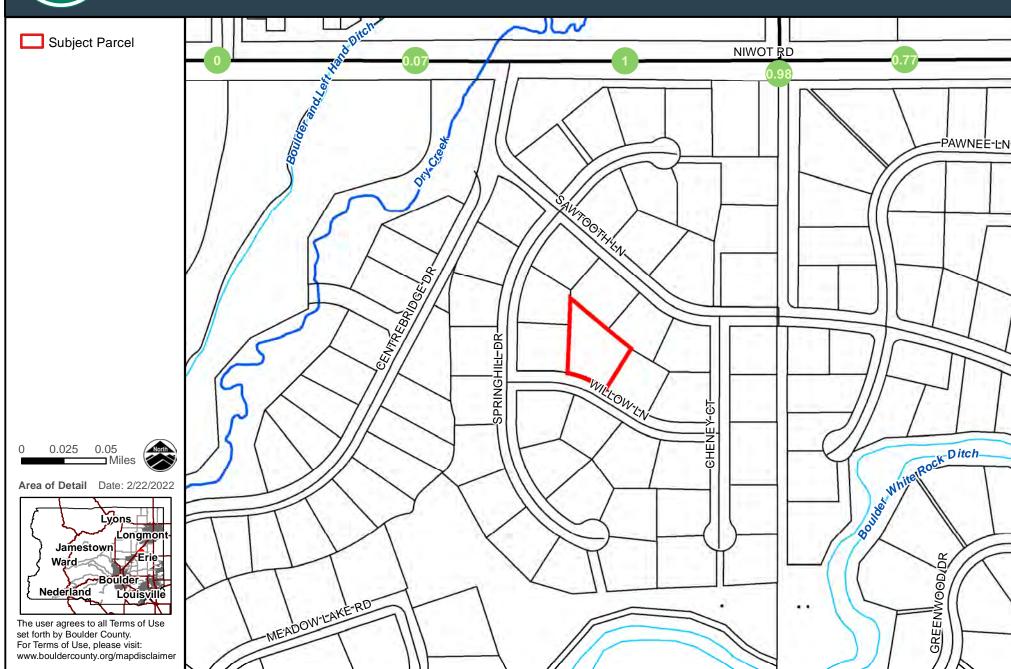
Area of Detail Date: 2/22/2022

Lyons
Longmont
Jamestown
Ward
Boulder
Nederland
Louisville

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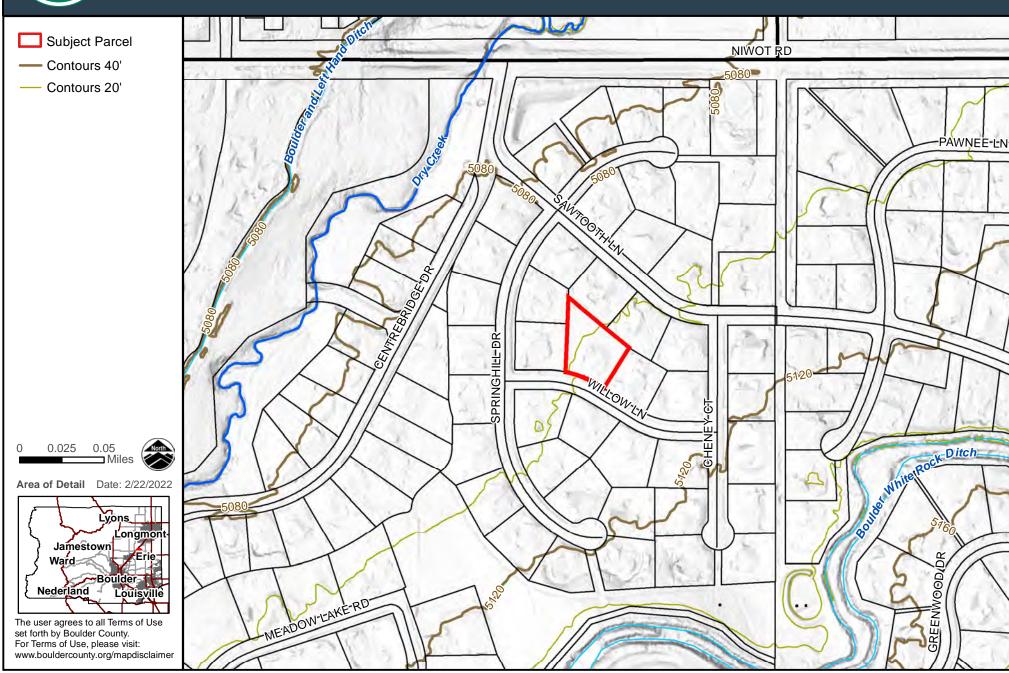
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Comprehensive Plan
8217 WILLOW LN



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Elevation Contours
8217 WILLOW LN



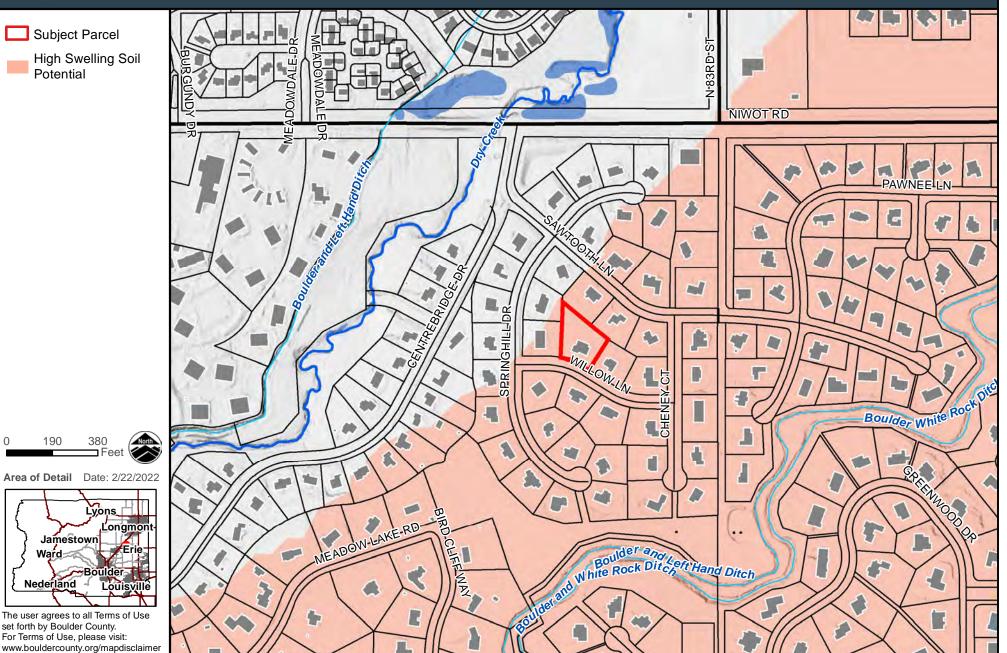


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Geologic Hazards 8217 WILLOW LN



High Swelling Soil Potential



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Jamestown

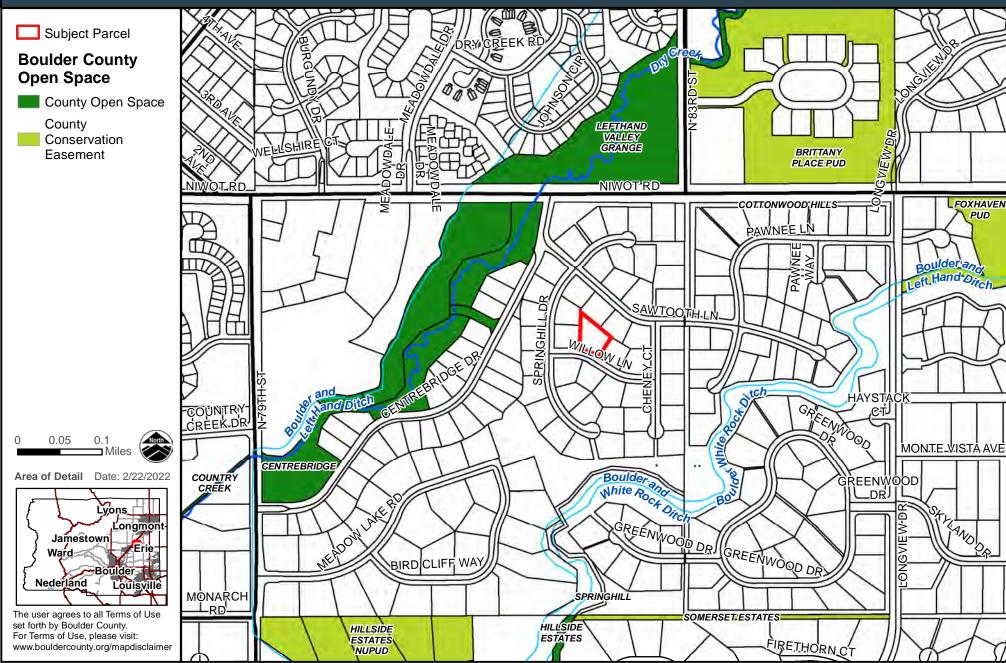
Nederland 4

Lyons |

-Boulder

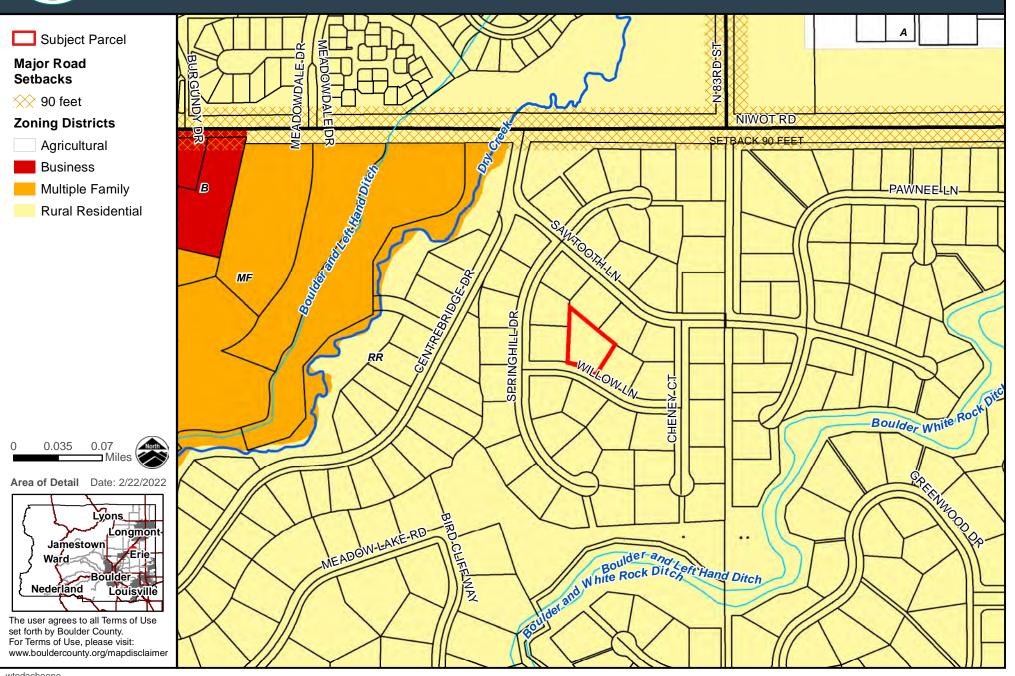
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Public Lands & CEs 8217 WILLOW LN

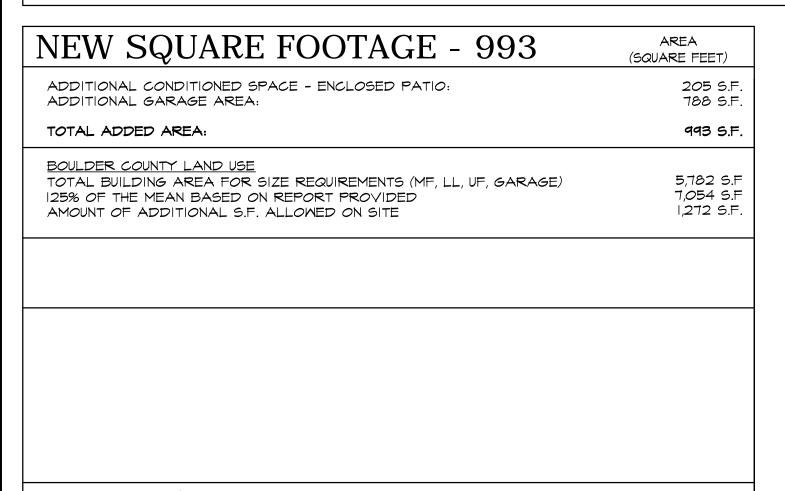


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Zoning 8217 WILLOW LN



THE HOLMES RESIDENCE REMODEL



THE ANSI Z765 Method of Calculating Single Family Residential Square Footage WAS USED TO DETERMINE FINISHED AND UNFINISHED SQUARE FOOTAGE . CALCULATIONS FOR THIS HOUSE ARE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE ACTUAL SQUARE FOOTAGE OF THE HOUSE AS BUILT.

GENERAL NOTES:

I. ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.

2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL OF THE NECESSARY INFORMATION REQUIRED TO COMPLETE A MAJORITY OF THE WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ALL CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR NEGLECTED IN THE DOCUMENTS.

3. SHOP DRAWINGS MAY BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK BEGINS, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS AND BE SUBJECT TO REPLACEMENT AS DEEMED NECESSARY BY THE ARCHITECT.

THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE OR ANY LOCAL CODE OR ORDINANCE.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED

6. ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTED DIMENSIONS WITH "N.T.S." DENOTES NOT TO SCALE.

CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, STRUCTRUAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

8. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

- 9. DO NOT SCALE DRAWINGS.
- IO. ANY DISCREPANCY FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL MOOD VENEER IN CABINETRY TO MATCH IN SPECIES AND COLOR INCLUDING DOOR FACE, FILLERS, LIGHT VALENCE, EDGE TAPE, ETC.

DH

DOOR/WINDOW ABBREVIATIONS:

PR 2468 DOOR, PAIR 2'-4"x6'-8"

3040 FX 3'-0"x4'-0", FIXED WINDOW

CASEMENT WINDOW

DOUBLE HUNG WINDOW

SINGLE HUNG WINDOW

DOUBLE CASEMENT WINDOW

AMNING MINDOM

FIXED WINDOW

SLIDER WINDOW

TEMPERED GLASS

TRANSOM WINDOW

EGRESS EGRESS WINDOW

12. PROVIDE ATTIC STOCK IN EACH UNIT FOR ALL FINISHES.

BUILDING SECTION

FLOOR DRAIN

FURNACE

MARKER

MATER HEATER

DETAIL ENLARGEMENT

INTERIOR ELEVATION

REVISION MARKER

DETAIL/WALL SECTION

DRAWING TITLE / SCALE

SYMBOLS LEGEND

MAIN FLOOR PLAN
A-I SCALE: I/8" = I'-0"

 \bigoplus

13. CONTRACTOR TO PROVIDE TEMPORARY SIGNAGE FOR ALL BUILDINGS DURING CONSTRUCTION AS REQUIRED.

LOT 4, BLOCK 2, SPRING HILL SUBDIVISION, P.U.D. REPLAT A, COUNTY OF BOULER, COLORADO LOT 3 EXISTING -CONTOURS PROPOSED CONTOURS RESIDENCE PROPOSED FILL APPROX. 80 CUBIC YARDS PAVERS-499 SQ. FT. DRIVEWAY 421 SQ. FT. SITE PLAN

CODE COMPLIANCE

- APPLICABLE CODES:
- 2015 International Residential Code
- 2015 International Plumbing Code
- 2015 International Mechanical Code
- 2015 International Fire Code 2015 International Energy Conservation Code
- 2017 National Electric Code
- Local Amendments:

HOSE BIBB (FREEZE PROOF)

SAND OR GRAVEL FILL

WOOD STUD PARTITION

BRICK

CONCRETE BLOCK

3-2X4 WOOD POST OR 2-2X6 UNLESS NOTED OTHERWISE

RIGID INSULATION

BOULDER COUNTY & BOULDER COUNTY BUILDSMART

DIMENSIONAL LUMBER

FINISH GRADE WOOD

INSULATING SHEATHING

BATT INSULATION

BLOCKING

PLYWOOD

LIST OF ABBREVIATIONS

ΑT

EXISTING

EXTERIOR

FOC FACE OF CONCRETE

FV FIELD VERIFY

HOLDER

\$	AND		FINISH OPENING	T\$G	TONGUE AND GROOVE
	ABOVE		FIRE PLACE	TO	TOP OF
AFF	ABOVE FINISH		FLOOR DRAIN	TOC	TOP OF CONCRETE
	FLOOR	FDN	FOUNDATION	TOF	TOP OF FLOOR
	ADJACENT			TOM	TOP OF MASONRY
AL	ALUMINUM	GI	GALVANIZED IRON	TOS	TOP OF STEEL
	APPROXIMATE	GA	GAUGE	TOM	TOP OF WALL
ARCH	ARCHITECTURAL	GYP	GYPSUM		
				00	ON CENTER
BRG	BEARING	HC	HANDICAP	OPNG	OPENING
BLW	BELOW	HVAC	HEATING,	OPT	OPTIONAL
BD	BOARD		VENTILATING AIR	OD	OUTSIDE DIAMETER
BO	BOTTOM OF		CONDITIONING	OH -	OVERHEAD
		HM	HOLLOW METAL	TR	TOMEL RING
	CANTILEVER	HOR	HORIZONTAL	T	TREAD
	CARPET	HB	HOSE BIBB	TS	TUBE STEEL
	CAST IN PLACE	HR	HOUR	TYP	TYPICAL
	CEILING				
	CENTER LINE	INT	INTERIOR	UNO	UNLESS NOTED
	CERAMIC TILE				OTHERWISE
	CLOSET		LAVATORY	ULF	UPPER LEVEL FLOOR
	COLUMN	LLF	LOWER LEVEL FLOOR		. /
	CONCRETE				
CONT	CONTINUOUS		MAIN LEVEL FLOOR		VERIFY IN FIELD
			MANUFACTURER	VERT	
DTL	DETAIL	MO	MASONRY OPENING	VEST	VESTIBULE
	DIAMETER	MATL	MATERIAL	VOL	VOLUME
DIM	DIMENSION	MAX	MAXIMUM	141.0	INATED OF OCET
DR	DOOR	MECH	MECHANICAL	MC	WATER CLOSET
DN	DOWN	MDF	MEDIUM DENSITY	MR	WATER RESISTANT
DWG(S)	DRAWING(S)		FIBERBOARD	MDM	MINDOM
		MTL	METAL	W/	WITH
EA	EACH	MIN	MINIMUM	W/0	WITHOUT
ELEC	ELECTRICAL	MIR	MIRRORED	MD	MOOD
ELEV	ELEVATION	MISC	MISCELLANEOUS	0000	41 06FF6 0 D0D6
EQ	EQUAL	MR	MOISTURE RESISTANT	2R2S	
ETS	EXPOSED TO	NI C	NOT IN CONTRACT		2 SHELVES
	STRUCTURE	NIC	NOT IN CONTRACT		

NUMBER

TEMP

TELEPHONE

TEMPERED

TOILET PAPER

SHEET INDEX

ARCHITECTURAL

COVER COVER SHEET NOTES GENERAL NOTES

AS-BUILT LOWER LEVEL PLAN / DEMO PLAN

LOWER LEVEL FLOOR PLAN-PROPOSED

AS-BUILT MAIN LEVEL PLAN / DEMO PLAN

AS-BUILT ROOF PLAN / DEMO PLAN

ROOF PLAN. SECTION. DECK DETAIL- PROPOSED

MAIN LEVEL FLOOR PLAN-PROPOSED

FRONT & SIDE ELEVATIONS - DEMO

FRONT & SIDE ELEVATIONS - PROPOSED

REAR ELEVATION DEMO & PROPOSED

DETAILS

DETAILS

DETAILS

STRUCTURAL

UNDER SEPARATE COVER

ELECTRICAL

MAIN LEVEL ELECTRICAL PLAN

STRUCTURAL ENGINEER:

ADDRESS

FAX:

EMAIL:

PROJECT TEAM

OSMOSIS ARCHITECTURE, INC. 290 SECOND AVENUE PO BOX 1024 NIMOT, CO 80544-1024 PH: 303.652.2668

FAX: 303.652.2717 EMAIL: apostle@osmosisarchitecture.com

BUILDER: PORCHERONT HOMES, INC 102 2ND AVE NIMOT, CO 80544 PH: 303.442.8453 FAX:

EMAIL:

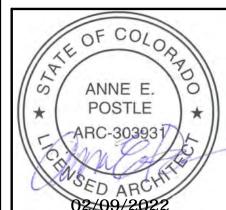


ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDE UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR DUTY OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER DILIGENCE, THEY CANNOT GUARANTEE PERFECTION, ANY

COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT, ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARRIVING OUT OF SUCH CHANGES.

OMNERSHIP OF DOCUMENTS AND DESIGNS:
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY

OSMOSIS ARCHITECTURE, INC. REMAIN OSMOSIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOSIS



02/09/2022

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ORIGINAL ISSUE: DATE: <u>2/9/2022</u> CURRENT/REVISION ISSUE: DATE: DATE: NO: REVISION TITLE: 21028 DRAWN: TJH/KMK CHECKED: AEP

COVER

GENERAL NOTES

Dimensions take precedence over drawn information. Do not scale. All dimensions shown are to face of studs and all studs are 3-1/2" wide unless otherwise noted.

- Before final drawings and specifications are issued for construction, they shall be submitted to all governing building agencies to insure their compliance with all applicable local and national codes. If code discrepancies in drawings and/or specifications appear, the Architect shall be notified of such discrepancies in writing by Builder or building official, and allowed to alter drawings and specifications so as to comply with governing codes before construction begins.
- 2. The contractor, project manager and all subcontractors are to examine and verify all dimensions and existing conditions both on the plans and in the field. Notify Architect of any discrepancies or conflicts prior to proceeding with
- 3. Upon written receipt of approval from the governing official, approved final drawings and specifications shall be submitted by the Builder.
- 4. If code discrepancies are discovered during the construction process, Architect shall be notified and allowed ample time to remedy said discrepancies.
- 5. All work performed shall comply with all applicable local, state and national building codes, ordinances and regulations, and all other authorities having jurisdiction. The following is a partial list of applicable codes in force
- a. 2015 International Residential Code (IRC) b. 2015 International Energy Conservation Code (IECC)
- c. 2017 National Electric Code (NEC)
- 6. Minimum corridor width is to be 36" finish clear. 7. Crawl spaces are to be conditioned with 10 mil polyethylene continuous vapor barrier with 24" lapped joints, per code.
- 8. Provide a 12" min. clearance from the bottom of wood beams and an 18" min. clearance from the bottom of wood joists to the crawlspace surface. Provide min. 18"x 24" access panel to crawlspace that is unobstructed by pipes, ducts and other similar construction, per code.
- 9. Ceiling heights for all rooms shall comply per code. B. All contractors, subcontractors, suppliers and fabricators, shall be responsible for the content of drawings and specifications and for the supply and design of appropriate materials and work
- performance. . All manufactured articles, materials and equipment shall be applied, installed, erected, used, cleaned and conditioned in strict accordance with the manufacturer's recommendations.
- D. All alternates are at the option of the Builder and shall be at the Builder's request, constructed in addition to or in lieu of the typical construction, as indicated on the drawings. E. Design Loads
- See Structural Drawings for design loads. 2. Prior to start of construction, verify design loads with governing codes and site conditions and check with local building agencies for wind, seismic, snow and other special loading conditions. Architect shall be notified of all discrepancies according to Section A.I. (see above)
- The basement plan included herein is not an engineered foundation plan. The engineered foundation design is prepared separately for each site by a Colorado registered Structural Engineer using guide-lines found in the soils report and actual field conditions. Contact the Structural Engineer for these

- SITE WORK A. Builder shall be responsible for grading of site and lots. 3. Perform excavation according to good common construction practices to the lines, grades and elevations indicated on
- C. Providé site preparation as specified by Soils Engineer. D. Provide foundation drainage as specified by Soils Engineer and Builder (see Thermal and Moisture Protection).
- . Approved numbers or addresses should be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Temporary numbers shall be placed on the construction meter and on the front of the house at the time of rough inspections. Label construction meters with the approved address prior to calling

CONCRETE

- A. All structural concrete shall be designed and specified by consulting Structural Engineer. B. Slope all concrete flatwork min. of 1/8" per foot (min.) to provide
- proper drainage. C. Min. Frost depth is 36". Foundation frost protection must be provided at all below grade concrete, including column piers.

<u>MASONRY</u>

- A. Brick veneer (if applicable): Provide standard units complying with ASTM C216, Grade SW. Type shall be specified by Builder. Brick veneer is to be attached with galvanized anchor ties at 24" o.c. min. vertically and horizontally and shall support no more than 2 sq. ft. of brick veneer (typical). B. Mortar: Provide mortar type "n" in accordance with ASTM C270.
- 5. Brick flashing and weep holes required, per code. D. Adhered concrete masonry veneer (ACMV) (flat and/ or faux stone, etc.) shall comply per code. Anchored veneer masonry
- (large and cobble stone, brick, etc.) shall comply per code. E. Verify that the veneer and its backing will provide a weatherproof covering. Wall ties shall be corrosion resistant, 22
- gage by 3/4" sheet metal or 0.148 diameter wire. At least one one tie shall be placed in each 2 sq./ft. of wall area with no tie spaced more than 24" horizontally. Artificial stone veneer must be installed per manufacturer's specifications and have an approved ICC evaluation report.

A. All structural steel shall comply with appropriate ASTM Specifications as follows: ASTM A36, ASTM A53, ASTM A501, ASTM A307, and ASTM C325.

MOOD AND PLASTICS

- A. Lumber shall in addition to complying with governing codes, comply
- "Product Use Manual" of the Western Woods Products Association for selection and use of products included in that
- !. "Plywood Specification and Grade Guide" of the American Plywood Association. 3. "Standard Specifications for Grades of California Redwood
- Lumber" of the Redwood Inspection Bureau for Redwood, when 4. Protection of wood and wood based products from decay shall be provided in the following locations by the use of naturally

- durable wood or wood that is preservative-treated in accordance with AMPA UI for the species, product, preservative and end use. Preservatives shall be listed in Section 4 of AWPA UI.
- 1. Wood joists or the bottom of a wood structural floor when closer than 18 inches or wood girders when closer than 12 inches To the exposed ground in crawl spaces or unexcavated area located within the periphery of the building foundation.
- 2. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
- 3. Sills and sleepers on a concrete or masonry slab that is in direct contact with the ground unless separated from such slab by an impervious moisture barrier.
- 4. The ends of wood girders entering exterior masonry or concrete walls having clearances of less than 1/2 inch on tops, sides and ends. 5. Wood siding, sheathing and wall framing on the exterior of a
- building having a clearance of less than 6 inches from the ground or less than 2 inches measured vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surfaces exposed to the weather.
- 6. Mood structural members supporting moisture-permeable floors or roofs that are exposed to the weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier.
- 7. Wood furring strips or other wood framing members attached directly to the interior of exterior masonry walls or concrete walls below grade except where an approved vapor retarder is applied between the wall and the furring strips or framina members.
- 8. Western Red Cedar Lumber Association standards and recommendations for cedar, when used.
- B. Provide lumber and materials meeting or exceeding the following standards of quality 1. See structural drawings for framing lumber and structural
- sheathing design values and requirements. 2. All headers and beams shall be free from splits and shakes. 3. Ceiling joists are designed for NO attic storage unless noted
- otherwise. 4. Rough hardware:
- Steel items 1. Comply with ASTM A7 or ASTM A36
- 2. Use galvanized at exterior locations. C. All engineered wood products shall be handled and installed in strict accordance with the manufacturer's
- specifications/recommendations. D. Provide wood trusses able to sustain the stated loads for the spans, profiles and arrangement shown on drawings. Truss layout is schematic only. Truss manufacturer and/or engineer shall be responsible for the design (including spacing) of all trusses and shall submit shop drawings (sealed by a registered engineer) for
- E. All wood plates bearing on concrete or masonry shall be decay-resistant as required by governing codes.
- 1. Top plate splices to be 24" min, offset. F. Interior trim shall be specified by Builder.
- 6. Provide solid wood blocking in floor system where concentrated loads occur so as to transfer load to framed wall, beam, header
- or foundation wall below. H. Exterior deck lumber shall be decay-resistant and shall be specified by Builder.

- Definition is I riser, checked for 1/4" maximum grade at riser, landing,
- A. The maximum riser height shall be 7 3/4". This dimension will be measured from top of threshold down to next tread, this dimension shall be also measured vertically between leading edges of the adjacent treads. The greatest riser height within any flight of stairs shall not exceed the smallest by more than 3/8" (maximum tolerable variance).
- 1. 73/4" maximum drop out of door measured from top of threshold, not adjacent floor. I 1/2" maximum height threshold
- from floor level. 2. Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere when the total rise of the stairs is over 30".
- 3. Exterior concrete stairs not to exceed 7 3/4" maximum when tread slopes the allowable 1/4" maximum by placing level on the back of upper tread and level out to next lower tread nosing then measure down.
- 4. Stairs can not end at sloped sidewalk or driveway. 5. Non required exterior exit door can go out to one step then to landing.
- B. The minimum tread depth shall be 10". The tread depth shall be measured horizontally between the vertical planes of the foremost projection of adjacent treads and at a right angle to the treads leading edge. The greatest tread depth within any flight of stairs shall not exceed the smallest by more than 3/8". 1. Nosing required at treads with closed risers (unless tread is
- II" minimum) nosing to be 3/4" min to 11/4" max. 2. Slope of tread not to exceed 1/4" from back to front. 3. Winder treads shall have a minimum depth of 10" from the walkline (12" from inside curve of stair) with 6" minimum tread depth along any point.
- C. Handrails/Guardrails 1. Handrails should not project more than 4 1/2" into the each side of the required width. Handrails projecting from a wall should have a space of not less than 1 1/2" between the wall and the handrail.
- 2. Handrail height shall be 34" min to 38" max measured from
- 3. The handqrip portion of handrails should not be less than 1 1/4" nor more than 2" in cross-sectional dimension or the shape should provide an equivalent gripping surface. The handgrip portion should have a smooth surface with no sharp corners. 4. Guardrails shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are
- located more than 30" measured vertically to the floor or grade below at any point within 36" horizontally to the edge of the open side. Guardrails shall be 36" in ht. Guards on open side of stairs shall be not less than 34", guards shall not have openings that allow passage of a 4" sphere. Trianqular area formed by stair, riser tread and rail shall not allow passage of a 6" sphere.
- D. Stairways shall not be less than 36" in clear width at all points above the permitted handrail height and below the required headroom height. Below the handrail height, including treads and landings, stair width shall not be less than 31 $\frac{1}{2}$ " where a handrail is installed on one side and 27" where handrails are provided on both
- E. Minimum headroom in all parts of the stairway shall be not less that 6 ft 8 in, measured from the nosing.

<u>THERMAL AND MOISTURE PROTECTION</u>

- A. Foundation moisture protection 1. Damp proof foundation walls per R406.1, 406.2 as specified
- 2. Provide approved drainage system per **R405** and as specified by Builder.
- 3. Provide sump pit and pump where required as specified by
- B. Provide thermal building insulation at assemblies adjacent to exterior or unheated spaces meeting the requirements of governing codes and, unless otherwise noted, meeting the ollowing minimum requirements:

<u>MINIMUMS PER THE "PRESCRIPTIVE METHOD" OUTLINED IN</u> THE IRC/IECC. IF "PERFORMANCE METHOD" IS USED, THE <u>WORST CASE ENERGY REPORT IS REFERENCED.</u>

- . Wood Frame wall: R-19+5^h,k INSUL. SHEATHING R-54 2. Ceiling: 3. NOT USED 4. Floor: R-42 or fill cavity (unheated
- areas/cantilevers) 5. Crawl Space Walls: R-15/20 R-15/20 6. Basement walls: R-20 7. Rim joist/box sills: 8. Attic Knee Walls: R-20 R-15, depth of 3 ft. 9. Slab:
- Fenestration U-factor .30,

2. Vapor barriers shall only be placed on the warm side of

Mindow and Door Assembly Thermal Transmittance:°

- C. Install vapor barrier and air infiltration barrier as specified by . Weather barrier required behind lap siding.
- insulated assemblies 3. A 6-mil polyethylene or approved vapor retarder with joints lapped not less than 6 inches shall be placed between the concrete floor slab and the base course or the prepared
- subarade D. Roofing shall be as specified by Builder as noted on
- E. Siding (if applicable) shall be selected by owner/builder (exposure as noted on drawings) as specified with 6" (min.) clearance above finished grade.
- F. Provide approved corrosion-resistant flashing per 703.8 to prevent entry of water to the buildings structural components, flashing should be installed in the following locations: . Exterior window and door openings.
- 2. Intersections of chimneys or other masonry construction with frame or stucco walls.
- 3. Under and at the ends of masonry, wood or metal copings and
- 4. Continuously above all projecting wood trim. 5. Where ext. porches, decks, stairs attach to a floor/wall
- assembly of wood-frame const. 6. At wall and roof intersections. 7. At built-in autters. G. Provide autters as specified by Builder and/or as per details.
- Downspout and splash locations shall be determined by contractor (and approved by Builder) so as to provide positive roof and site drainage. H. Provide attic and roof ventilation as specified by Builder. Provide frost-proof hose bibs where designated on floor plan.
- J. All supply and return air ducts in crawl spaces need to be insulated unless there is conditioned air in to crawl space. K. All roof drains to have down spout extensions 5'-0" minimum away

L. Provide cross ventilation in the crawl space per code.

DOORS AND WINDOWS

- 1. Glazing in doors and sidelights shall be per energy report. 2. Glazing in doors and sidelights shall be tempered glass as
- req. by governing codes. 3. Exit doors from individual dwellings units shall be readily openable from the inside without the use of a key or any
- special knowledge or effort. 4. Exit doorways shall be sized to permit the installation of a door not less than 3' wide and not less than 6'-8" high in all
- 5. A floor or landing shall be provided at each side of a door. A maximum drop of $7\frac{3}{4}$ " on exterior side is allowed provided the door does not swing over drop, 36" min in direction of
- travel **per R3II.3.**I 6. Openings between the garage and residence shall be not less than 1 % inches in thickness, solid or honeycomb-core steel doors not less than $1 \frac{3}{6}$ inches thick, or 20 minute fire-rated
- doors, equipped with a self-closing device per R302.5.1 B. Windows 1. Provide windows as follows OR as specified by Builder:
- a. Living levels: as specified by builder b. Basement level: as specified by builder with 44" (max.) depth below grade (window well) and 44" (max) a.f.f. measured to bottom of clear opening per R310.1
- 2. Provide units of the size, style and quantity shown on drawings. 3. Glazing shall be double-pane insulating glass or as required by energy report. 4. Provide tempered glass in all hazardous location as required
- per section R308 including: a. Glazing in doors (see exceptions) b. Glazing adjacent to doors-glazing in an individual fixed or operable panel adjacent to a door shall be considered a hazardous location where the bottom exposed edge of the glazing is less than 60" above the floor or
- walking surface and meets the following 1. Glazing within 24" of either side of the door (parallel) 2. Glazing on a wall perpendicular to the plane of a door within 24" of the hinge side of an in-swing door. (see exceptions)
- 3. Exposed area of individual pane larger than 9 sq.ft. 4. Bottom edge of glazing is less than 18" above the floor. 5. Top edge of glazing is more than 36" above the floor AND, 6. One or more walking surfaces are within 36" of glazing. 7. All glazing in quards and railings.
- c. Glazing in walls, enclosures or fences containing or facing hot tubs, spas, whirlpools, saunas, steam rooms, bathtubs, showers and indoor or outdoor swimming pools where the bottom exposed edge of the glazing is less than 60 inches measured vertically above any standing or walking surface and within 60" horizontally from the edge
- d. Glazing where the bottom exposed edge of the glazing is less than 36" above the plane of the adjacent walking surface of stairways, landings between flights of stairs and ramps. e. Glazing adjacent to the landing at the bottom of a stairway where the glazing is less than 36 inches above the landing and within a 60 inch horizontal arc less than 180 degrees
- from the bottom of the tread. 5. Egress window min area is 5.7 sq.ft. Min net ht. 24", width 20", ground floor permitted to be **5 sq./ft.** with a max sill ht. of 44" above the

7. Any window where the operable bottom portion of the opening is less than 24" and the ground/surface below is greater than 72" then the window must not allow a 4" diameter sphere to pass OR it must be

- fitted with a self-acting window opening limiting device as per code. C. Finish hardware shall be specified by Builder. Install all hardware required by governing codes.
- D. Skylights (glass) should comply per code. Plastic skylights are allowed per code.
- E. Doors and panels of shower and bathtub enclosures and windows near tubs should be fully tempered, laminated safety glass or approved plastic and should comply per code. Shower compartment egress shall be a minimum of 22" per **P2708.1.1 IRC 2015**
- Habitable rooms should be provided with natural light from glazed openings equal to 8 percent of the floor area and natural ventilation from openings equal to 4 percent of the floor area. Unless provided with whole house mechanical ventilation system and artificial light per R303
 - Gypsum panels, unless otherwise noted, shall be provided as follows: a. Exterior wall: typ. I-layer I/2" regular panels to interior face.
 - b. Interior partitions: 1-layer 1/2" regular panels each side. c. Ceiling: 1-layer 5/8" regular panels when supporting members are greater than 16"o.c. and 1/2" regular panels when supporting members are 16"o.c. or less
 - d. RE: Applicable Fire Protection building codes. e. Baths: Water-resistant panels at all walls and ceilings surrounding tubs and showers and as required by governing codes. All fixture penetrations are to be fully sealed.
 - f. Common walls (area separation walls): (2) I" aupsum liner panels (rated). See drawings for construction assemblies. q. Floor assemblies, not required elsewhere in this code to be fire-resistance rated, shall be provided with a 1/2-inch qupsum wallboard membrane, 5/8-inch wood structural panel membrane, or equivalent on the underside of the floor
- framing member. **R501.3** 2. Provide metal corner bead and trim at all locations shown on drawings and as recommended by gypsum wallboard manufacturer.
- 3. Tape, float and sand joints and fasteners of gypsum wallboard with 3-coats of joint compound as required to obtain a uniformly smooth 4. Water-resistant aupsum backing board should not be used in the
- following locations: a. Over a vapor retarder b. In areas subject to continuous high humidity.
- c. On ceilings where framing exceeds 12" on center. B. Finishes shown on drawings shall be specified by Builder All shower and tub/shower combo walls should be finished with a hard,
- non absorbent tile to the ceiling with materials that are classified as non-absorbant. 2. All shower enclosures will be 80" tall, unless noted otherwise on
- C. Hardboard lap siding (if applicable to project) shall be installed in accordance with the manufacture's listing and associated ICC evaluation services report for generic applications (the most restrictive provisions shall apply). Please note that an approved weather barrier is required under most exterior wall finishes. ALL MASONITE AND FIBER CEMENT HORIZONTAL LAP SIDING WILL NOW REQUIRE THE USE OF AN APPROVED WEATHER BARRIER INSTALLED OVER EXTERIOR WALL SHEATING.
- D. All timber boards to be 1×6 's, 1×8 's and 1×2 's on inside corners. (typically 1×6 verticals and 1×8 horizontals). E. E.I.F.S. (EXTERIOR INSULATION FINISH SYSTEM if applicable to project)
- I. All components of EIFS shall be supplied and installed by the same 2. Unless noted otherwise, all EIFS foam thickness shall be I" min. 3. Insulation board (EPS) shall be molded, expanded polystyrene foam
- with a nominal density of 1.0 PCF. 4. Finish texture shall be "free style" with integral color F. Conventional stucco over wood (if applicable to project) should always be applied as a three-coat system consisting of a scratch coat, brown coat, and finish coat. The scratch coat must be scored horizontally on vertical surfaces. The weather resistant barrier (WRB) must be installed per Section R703.1. Lathing shall be self-furring or furred out from solid bases and comply with ASTM C1063. Control joints (expansion and contraction) shall be installed in walls to delineate areas not more than 144 ft. on vertical surfaces and 100 sq. ft. on horizontal surfaces. The distance between control joints shall not exceed 18 feet, in either direction, or exceed length-to-width ratio of 2-1/2 to 1. The ASTM standard requires the paper to be installed, continuous, behind the joint material and that lath shall not be continuous through control joints, but shall be stopped and fastened on each side of the control joint. All accessories must be installed to receive a minimum 7/8 inch application for a three-coat system over wood. In wood-frame construction, accent features (foam, accent strips, banding, and trim) should be installed over the brown coat, using adhesive and minimum

- A. Fireplaces shall be pre-manufactured gas, direct or top vent as shown on
- I. Contractor(s) shall be responsible for proper installation of fireplace unit, venting, hearth, mantle and related components as recommended by manufacturer and as required by governing codes. 2. Gas fireplaces (if used) shall be installed in accordance with their

fasteners penetrating the stucco. A weep screed shall be

installed per ASTM Standard 1063-06 section 7.11.5.

- listing and all gas outlets shall be controlled by an approved operating valve located in the same room, outside the hearth but no more than 3' from such outlets as per code. 3. Details for the fireplace and installation instructions must be on site to verify clearances (Manufacturer, Make, Model, Unit should be listed)
- per section MI302.1 All subject to verification at time of field

A. Asphalt shingles (if applicable) shall be installed in accordance with the manufacturer's recommendations. Asphalt shingles also need to meet ASTM D 3161 modified to use the wind speed. Verify that the materials selected conform with the subdivision site development plan.

B. Roofing tiles (if applicable) must comply with ASTM C 1167. Tiles will be

be in accordance with the manufacturer's installation instructions for high wind provisions. C. An attic access opening (minimum 22" by 30") should be provided with a minimum clear headroom of 30" and a attic light. This is required for all enclosed attics with a headroom of at least 30".

approved when provided with an ICC Evaluation report. Installation shall

- B. General: Equipment and fixtures shall be specified by Builder.
- 2. Design and installation of equipment shall be the responsibility of the appropriate licensed contractors. 3. Nail plates required when plumbing pipes are within 1 1/2" from surface - required for
- gas piping within I" of surface. 1. Plumbing rough-in shall be provided to washer box for clothes

- 2. Provide qas lines and valves when optional gas dryer and/or
- range are specified by Builder 3. Each water closet stool should have a minimum 15 inches of side clearance from its center line to a finished wall or bathtub or similar obstruction and have a minimum clear space in front of the water closet stool of not less than 21".
- 4. Plumbing vents need to be graded to drain.
- 5. Floor drains shall be fitted with a trap primer or shall be deep seal
- 6. All water heaters require pans when on wood floors. 7. All plumbing vents need to extend out of roof 12" minimum. 8. Provide protection against freezing per P2603.6, IRC 2015 9. The shower compartment access and egress opening minimum

width is 22", per P2708.I.I, IRC 2015

- C. Heating, Ventilating and Air Conditioning 1. Furnace: gas, forced air: Water Heater: power vented (or sealed combustion) per builder specs, these appliances do not require secondary combustion air.
- 2. All HVAC equipment shall be individually switched. 3. Dryer vent shall be extended to exterior weather hood. Dryer ducts shall be 4" minimum diameter, 35' in length maximum (The maximum length of the duct shall be reduced 2.5' for each 45 degree bend and 5' for each 90 degree bend. The maximum length does not include the transition duct. Ducts shall have smooth interior surfaces and be constructed of metal. Exhaust ducts shall terminate not less than 3 feet in any direction from openings (fixed or operable) into the building. Laundry rooms placed in the interior of the structure may not meet these prescriptive requirements. Be advised that any duct proposal which exceeds the length permitted by the code must be designed and sealed by a Colorado registered professional engineer. Provide a permanent dryer duct identification label or tag stating the effective length of the duct concealed in the construction for dryer selection to meet that distance, per MI502.4.5
- 4. Fire stop all flues. 5. I/4" to I/2" screening required for combustion air openings. 6. Combustion air openings to have low side of opening at least 12" above grade.
- 7. Provide combustion air per code. 8. Provide I" minimum clearance between Type B vents and combustible materials. Use noncombustible fireblocking when penetrating floors and
- 9. Kitchen Ventilation: All dwelling units with a kitchen shall be provided with a ducted range hood that discharges to the outdoors at 100CFM intermittent or 25CFM continuous. Kitchen exhaust capable of exhausting in excess of 400CFM shall be provided with make-uip air at the same rate of the exhaust. 10. Air exhaust openings shall terminate not less than 3 feet from
- operable and non-operable openings into the building and 10' from mech air intakes unless 3' above. per MI506.2 II. Whole house mechanical ventilation system shall be installed in accordance with section MI507.3. a continuously running fan shall be installed. For 2-3 bedrooms <1500sf; 45cfm For 2-3 bedrooms, 1501-3000 s.f., 60cfm, for bedrooms 4-5, 1500-3000 s.f., 75 cfm is required per table M1507.3.3(1)
- ELECTRICAL (2017 NEC, see E sheets for more information) 1. Information and layouts shown on drawings are only schematic in design and shall be reviewed by contractors, suppliers and building officials for compliance with governing codes and
- good common construction practices. 2. Locations of outlets, switches etc. are shown for count and
- code compliance only. Actual locations may vary in field as conditions dictate. 3. Equipment and fixtures shall be specified by Builder.
- 4. Installation of equip't. shall be the responsibility of the appropriate licensed contractors. 5. All electrical code requirements and local amendments should be observed including: a light in each crawlspace and attic, two spare circuits in unfinished basements, an additional 2 spare slots in the panel, and that the required smoke detectors are wired together and sound simultaneously when
- B. Service panel shall be minimum 200 amp, 40 circuit. (Verify with
- C. The grounding electrode system shall include an electrode encased by at least 2" of concrete, located within and near the bottom of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 20 ft of one or more bare or zinc galvanized or other electronically conductive coated steel reinforcing bars or rods of not less than 1/2" dia. or consisting of at least 20 ft bare copper conductor not smaller than No. 2. Article
- D. Provide and install ground-fault circuit-interrupters (GFCI) as rea'd by the NEC and meeting the requirements of all governing codes, including but not limited to Bathrooms, Garages, Accessory buildings with floors at or below grade that are not intended as habitable rooms.Outdoors, except where receptacles on dedicated circuits, are not readily accessible, and are used to supply snow-melting, deicing, or pipeline and vessel heating equipment, Crawl spaces, Unfinished basements, unless the receptacle is on a dedicated circuit and used to supply a burglar alarm, Kitchens where the receptacles serve countertop surfaces, Where a receptacle is within 6 ft. of sinks in other than
- kitchens, where receptacles are installed within 6 ft. of the outside edge of bathtub and shower stalls, Laundry areas. E. Bathroom exhaust fans are to be vented to the exterior and shall provide min. 50 CFM intermittantly or 20CFM continuously.
- F. Branch circuits serving habitable spaces shall be ARC fault protects (IRC E3902.12) G. When Slab basement floors are used, a continuously running fan shall be installed in the laundry room or powder room/bathroom
- per code. H. A minimum of 75% of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75% of the permanently installed lighting fixtures shall only contain
- high-efficacy lamps., per section NIIO4.1 All smoke detectors & carbon monoxide detectors shall be interconnected to provide alarm which will be audible in sleeping areas. Detectors must receive power from 120 volt building wiring with battery backup. CO detectors are required to be installed outside sleeping areas in immediate vicinity of bedrooms. Smoke alarms are required to be located within each sleeping room, outside each sleeping area in immediate vicinity, on each story, and within 3' of a bathroom containing a tub/shower. CO detectors are required to be installed in bedrooms where a fuel burning appliance is located or in its attached bathroom. Section R314\$R315
- l. Kitchen counter top receptacles should be supplied by no less than two small appliance branch circuits. Receptacle outlets installed to serve kitchen countertop areas of dwelling units shall be installed so that there is a maximum horizontal distance of 24" from any point in the wall to a receptacle. Receptacles are required on any wall counter space 12" or

- wider. Countertop spaces separated by range tops, refrigerators, or sinks shall be considered separate countertops spaces requiring at least one outlet. Receptacles which serve a countertop located within a
- kitchen shall be GFCI protected. K. Bathrooms require GFCI outlets to be installed within 36" of EACH BASIN. Bathrooms must have dedicated GFCI circuit with 20 amp braker and min.
- L. Receptacles in garages shall be GFCI protected unless they are single outlets for dedicated appliances only.
- M. Receptacles in unfinished basements and crawl spaces at or below ground level require GFCI protection.
- N. Outdoor receptacles shall be provided in single-family dwelling units at both the FRONT AND BACK of the dwelling. Outdoor receptacles require GFCI protection.
- O. Hallways of 10' or more in length shall have at least one receptacle P. Light fixtures located in any clothes closet shall comply with the spacing
- provisions per code. Q. At least one wall switch-controlled lighting outlet shall be installed in bathrooms, hallways, stairways, attached garages, at outdoor exits and in
- R. Electrical switches shall not be concealed (such as behind doors) and shall be so located that they may be operated from a readily accessible

5. 220 Volt outlets used for ranges, dryers, etc. shall be wired with 4

conductor romex or equivalent. Grounding of frames to the neutral or

- grounded circuit conductor is no longer permitted. T. Bends in type NM, NMC, and NMS cable shall be made so that the radius of the curve of the inner edge of any bend shall not be less than 5
- U. Tamper-Resistant Receptacles: Listed tamper resistant receptacles are required for all 125-volt outlets in dwelling units, on the outside of dwelling units and in attached and detached garages.
- V. GFCI outlet for dishwasher may not be located behind the dishwasher. Article 210.52(B)(1), NEC Flexible cord for dishwasher may not be longer than 6.5 ft. Article 422.16(B)(2),NEC

times the diameter of the cable

- W. All receptacle outlets located in a laundry area must be GFCI protected. Article 210.8(A)(10), NEC X. In both attached and detached garages with electric power
- at least one receptacle outlet installed for each car space. Article 210.52(6)(1), NEC Y. Light fixtures in crawl spaces must be GFCI protected.

there must be at least one receptacle outlet, or there must be

Article 210.8(E), NEC

- FIRE PROTECTION A. Horizontal separation (garage ceiling) should be supported with a structural system (beams and columns) having equivalent fire-resistive protection. Provide 5/8" Type"X" GWB minimum on all surfaces common to the house on the ceilings that have living space above. 1/2" dry wall (or 5/8" Type "X" GMB per community requirements) will be required on the walls. Vertical occupancy separations shall be continuous to the underside of the roof deck or connected to the horizontal separation. Ensure that all structural components (including entire bearing walls, if used to support horizontal components) used to support the horizontal portion of the occupancy separation are completely covered with 1/2"
- GWB. (or 5/8" Type "X" GWB per community req.) 21. Doors located within fire resistive separations shall be either 20 minute rated or 1-3/8" solid wood, tight-fitting and self closing.
- B. RE: Stair Construction (RE: Applicable Fire Protection building codes) C. Fire stopping should comply per code.
- I. In concealed spaces of stud walls and partitions, including furred spaces, at 10' intervals. along the length of the wall 2. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and covered ceilings. 3. In concealed spaces between stair stringers at the top and bottom of
- the wall under the stairs is unfinished 4. In openings around vents, pipes wires, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor

the run and between studs along and in line with the run of stairs if

D. Provide ladders in required egress window wells with a vertical depth greater than 44". E. Mixed occupancies are present. A separation is required between the house portion and the garage portion. This separation may be

levels, with non combustible materials.

constructed in accordance with code.

the basement. The minimum net clear opening shall be 5.7 s.f. with a minimum width of 20", a minimum height of 24" and a sill height no greater than 44". The window shall be openable without the use of separate G. Each rescue window located below grade shall be provided with a window well with 9 s.f. minimum area and no dimension less than 36". Window wells

F. An escape and rescue window shall be provided in each bedroom and in

- with a vertical depth of more than 44" shall be provided with a ladder or stairs with a 6" maximum encroachement into the required dimensions. H. Enclosed unusable space under interior stairways should be protected (walls and ceiling) on the enclosed side with 1/2" drywall.
- . Insulation and its facing should comply with code for flame spread and smoke, or must be completely covered. . Interior finishes shall have a maximum flame spread classification as required per code. Verify that all finishes have a flame spread classification of no greater than 200 and smoke developed index of no
- greater than 450. K. Floor assemblies not required elsewhere to be fire-resistance rate, shall be provided with 1/2" gypsum wall board membrane or equiv. on the underside of the floor framing member. Penetrations or openings for ducts, vents, electrical outlets, lighting, wires, drainage, piping and similar openings or penetrations shall be permitted. See R302.13 for exceptions.

NOTICE "BUILDERS PLANS"

THE CONTRACTOR WARRANTS TO THE ARCHITECT THAT HE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTORS SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDER'S PLANS." IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT IMMEDIATELY SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR THE CONSEQUENCES.

OMNERSHIP OF DOCUMENTS AND DESIGNS:
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSIS ARCHITECTURE, INC. REMAIN OSMOSIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOSIS ARCHITECTURE. INC., USE THE DOCUMENTS OR DESIGNS PROVIDE UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS. <u>DUTY OF COOPERATION:</u> RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER. THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTEI IMMEDIATELY TO THE ARCHITECT, FAILURE TO COOPERATE BY A

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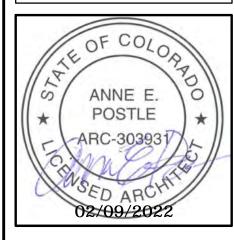
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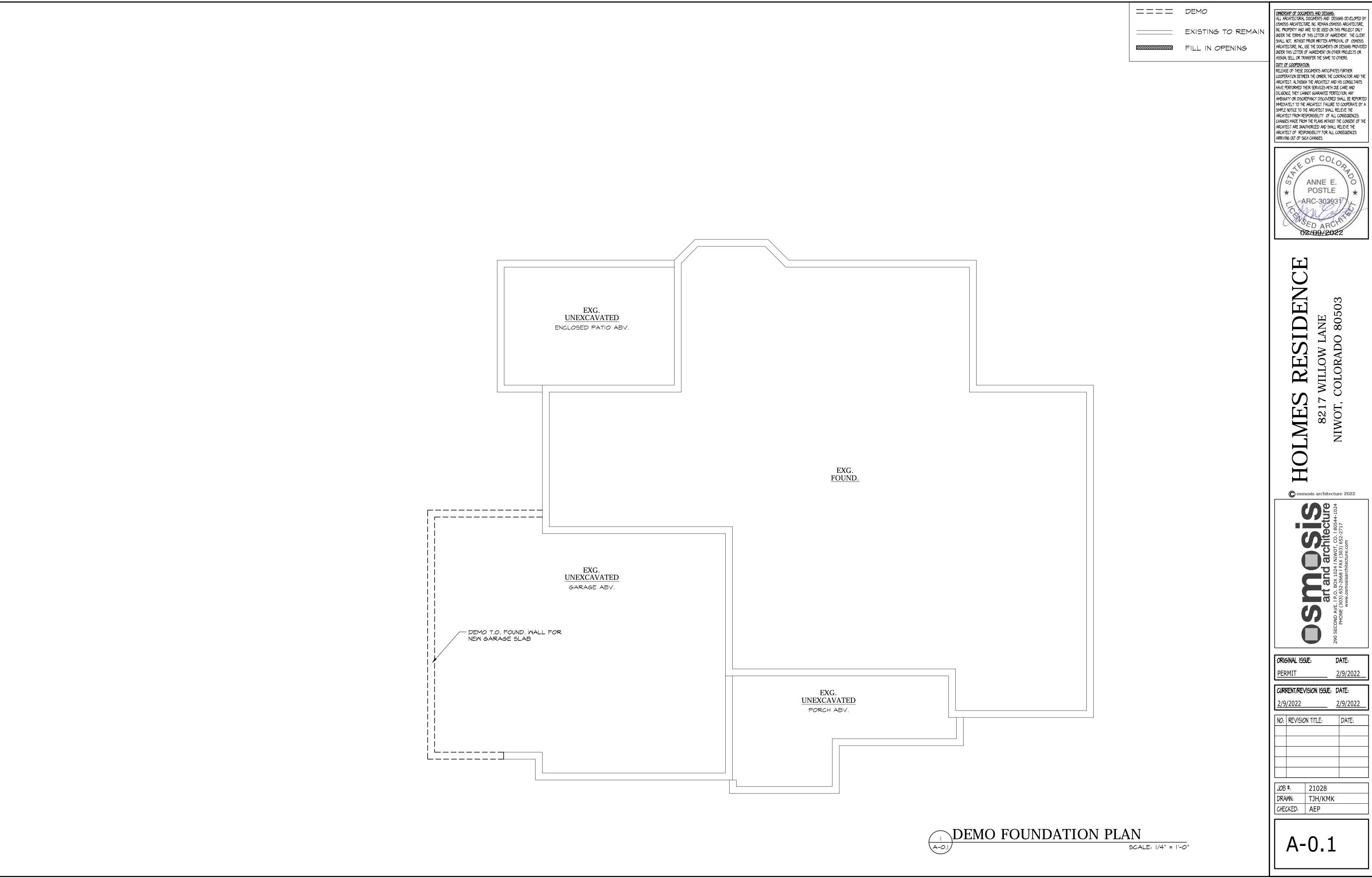
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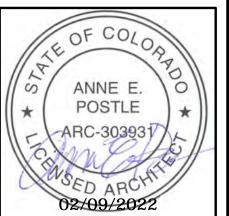
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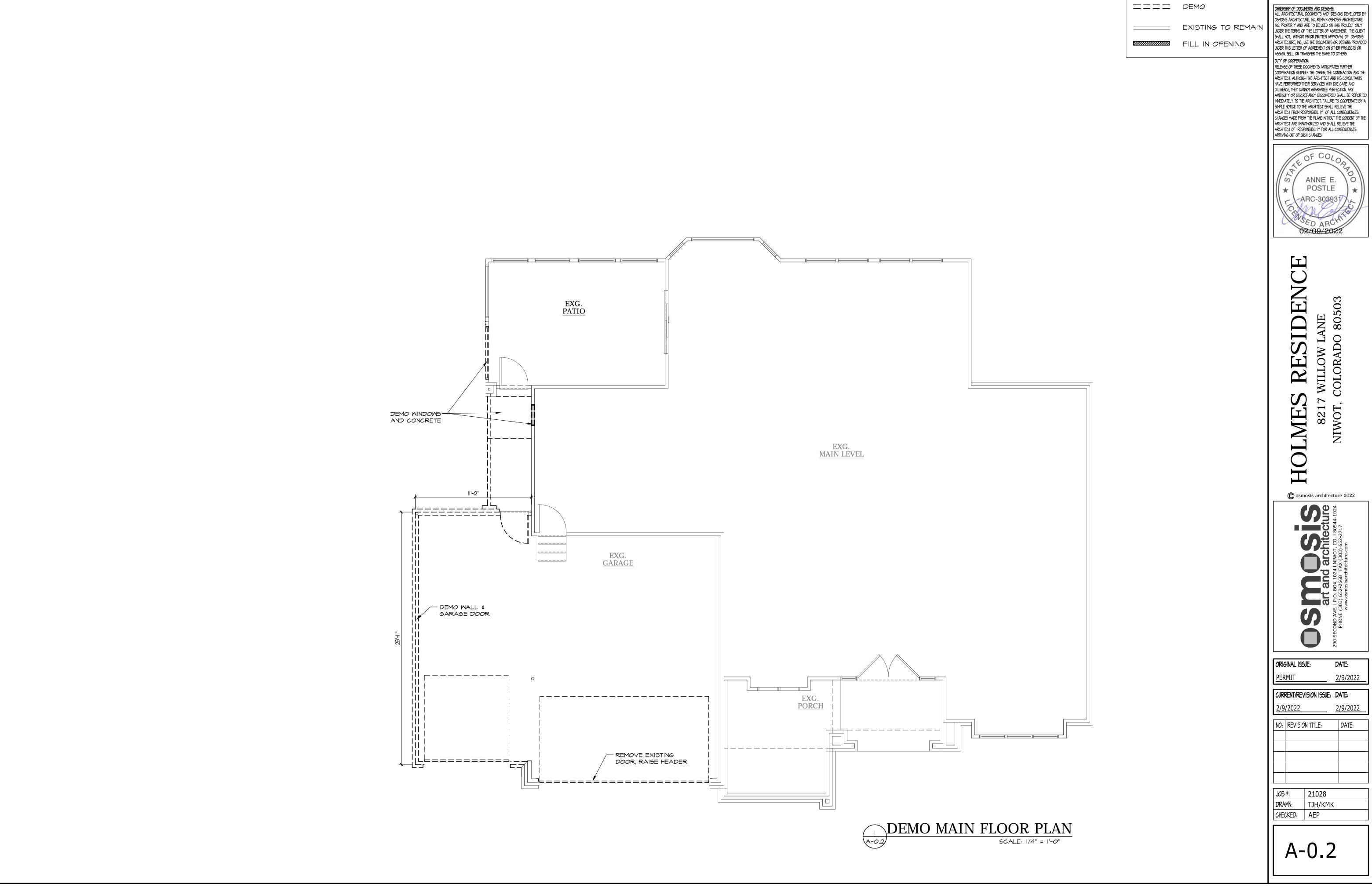
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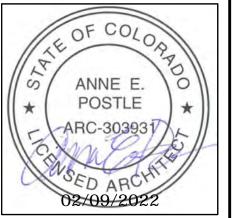
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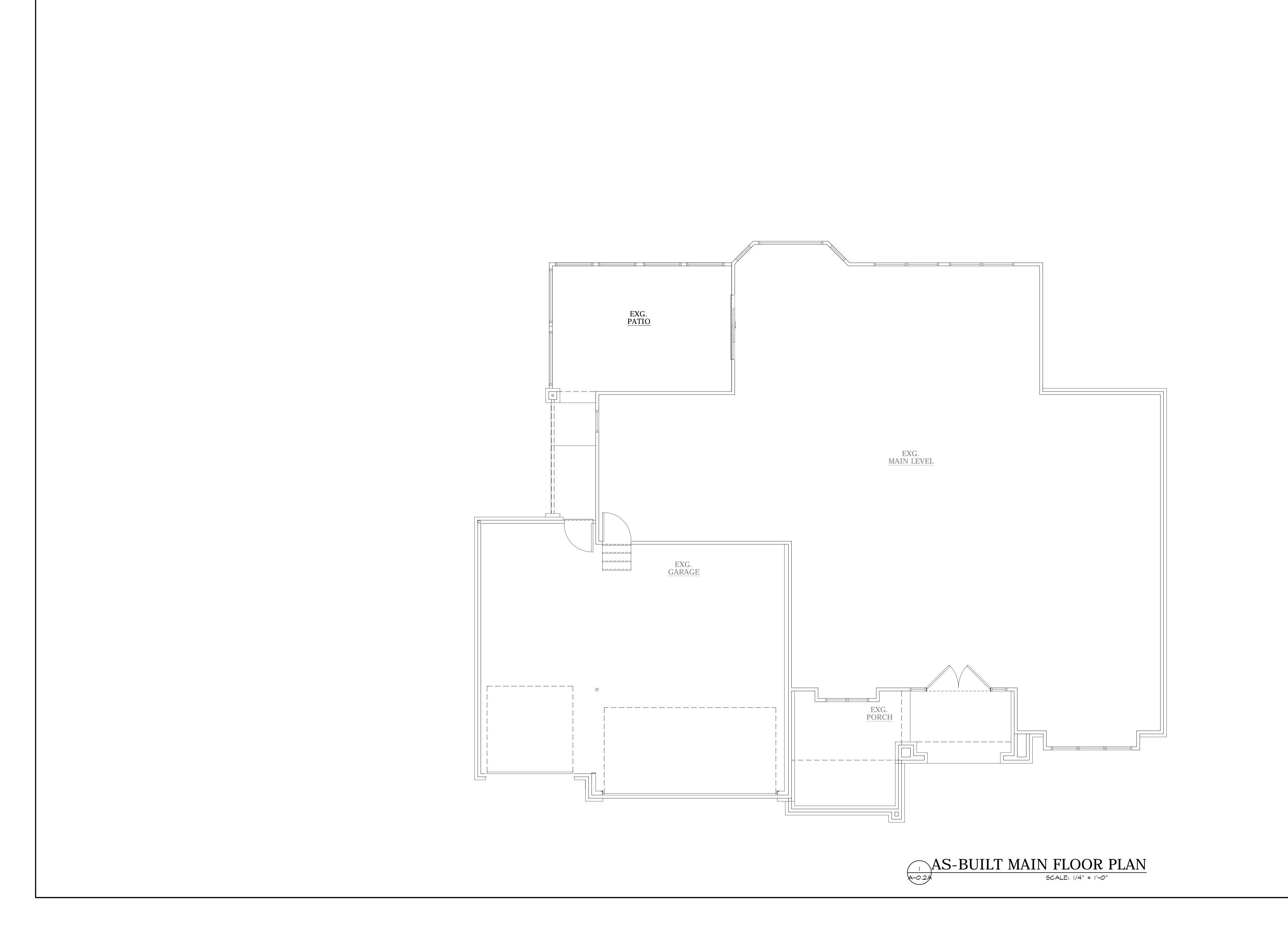








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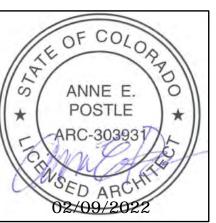
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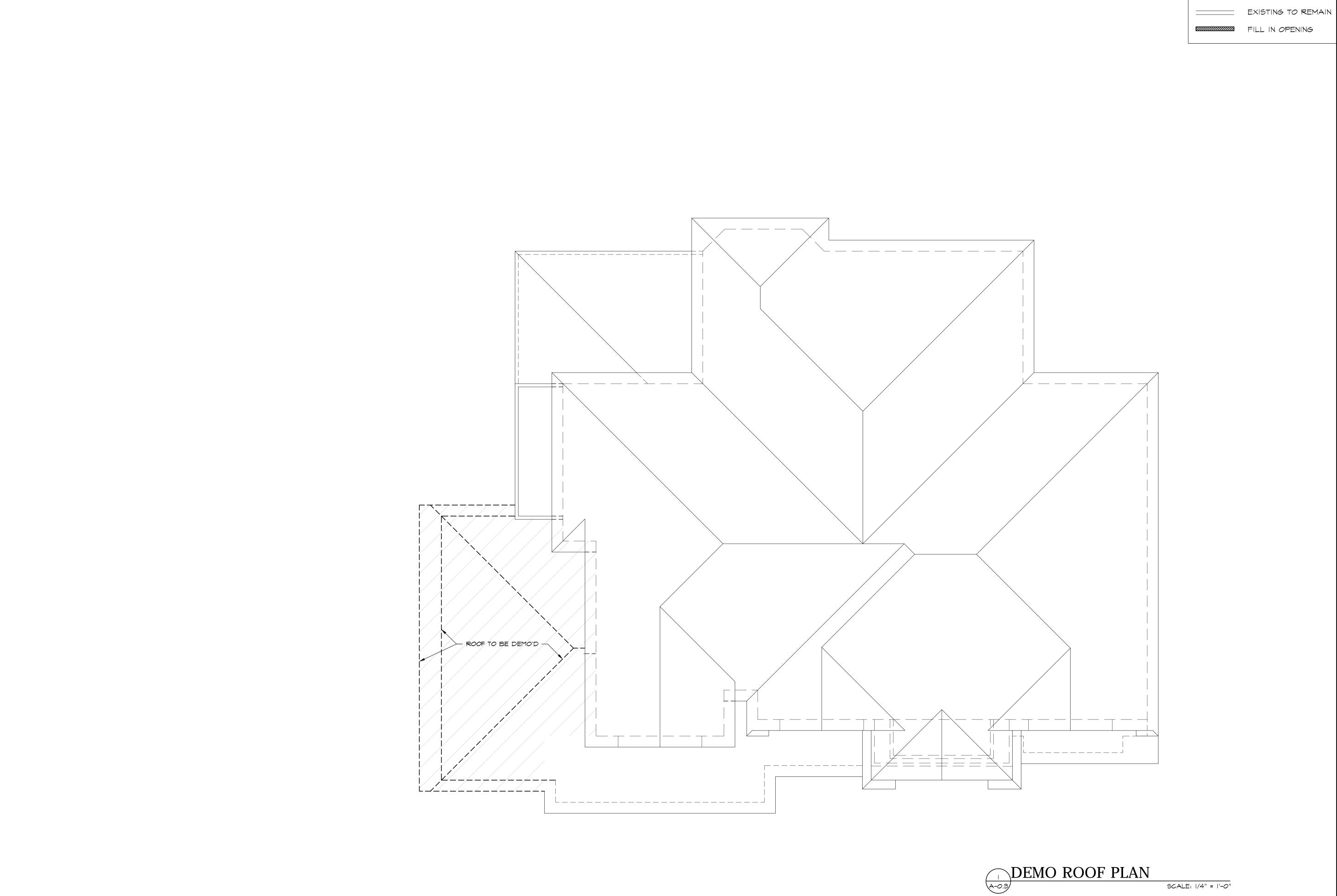
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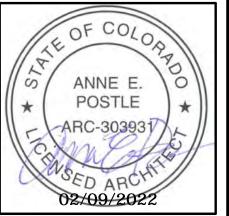
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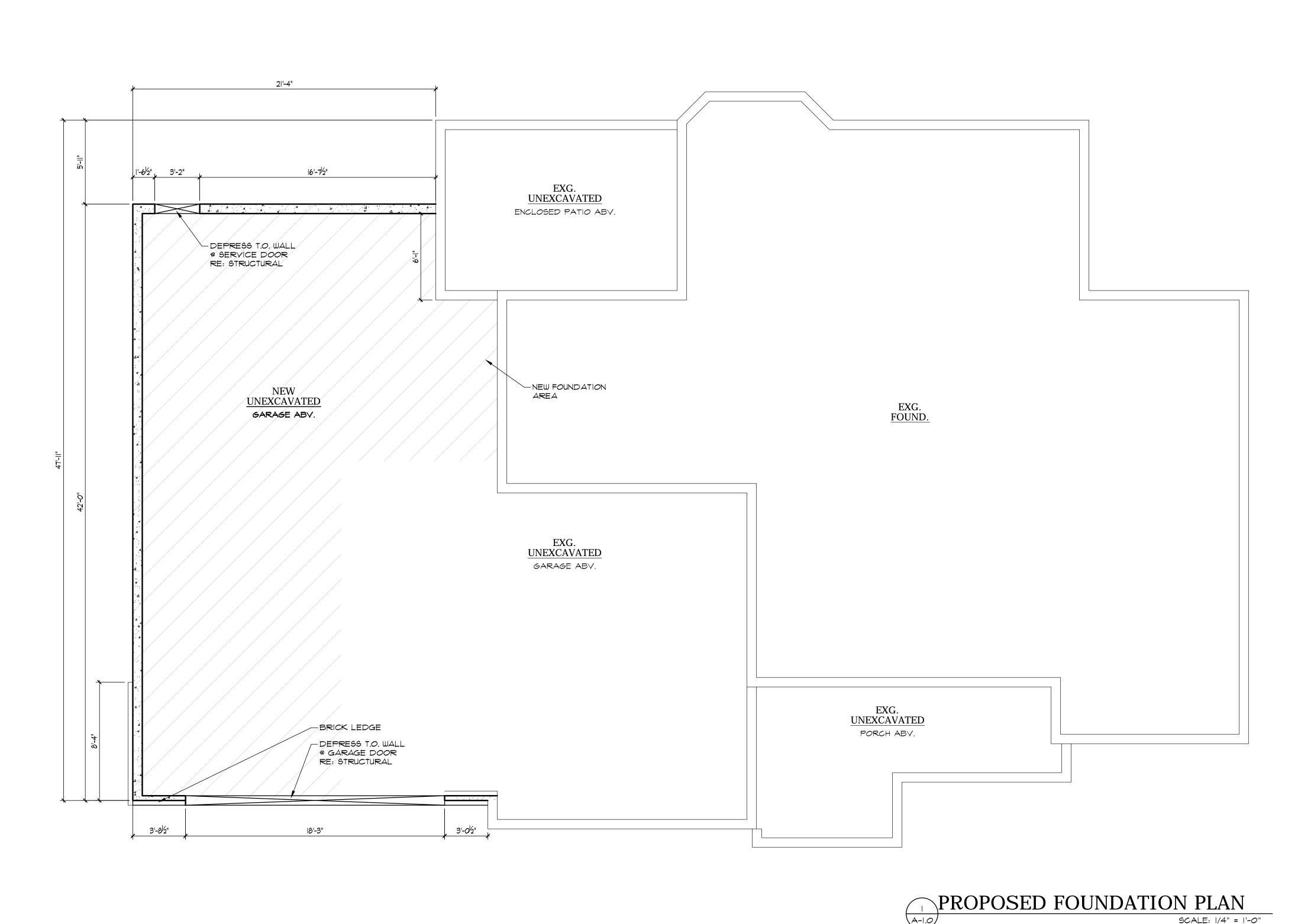
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LOWER LEVEL NOTES:

. THE LOWER LEVEL BASEMENT PLAN IS NOT CONSIDERED AS LIVING AREA (FINISHED BASEMENT PLANS ACCEPTED).

2. GENERALLY ACCEPTED PRECAUTIONS FOR SLAB-ON-GRADE CONSTRUCTION WILL BE PROVIDED THE LOWER LEVEL WINDOWS CONSTITUTE 8% LIGHT

3. ESCAPE WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A 5.7 S.F., MIN. HT. OF 24" \$ 20" MIN. WIDTH. FIN. SILL HT. SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. IF THE SILL HT IS BELOW THE ADJOINING FIN. GRADE, A WINDOW WELL MUST BE PROVIDED. THE MINDOM WELL MUST ALLOW FULL OPERABLE OF THE WINDOW, HAVE A MIN. CLEAR AREA OF 9 S.F. & A MIN. CLEAR DIM. OF 36". IF THE WINDOW WELL IS OVER 44" DEEP, A PERM. STAIR OR LADDER MUST BE PROVIDED WHICH ALLOWS FULL OPERABLE OF WINDOW OR DOES NOT ENCROACH MORE THAN 6" INTO THE CLEAR AREA. PER CODE.

4. FOOTINGS & FOUNDATIONS SHALL EXTEND BELOW FROST LINE (36"). FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE THE ADJACENT FINISHED GRADE. PER CODE.

5. CRAWL SPACES MUST BE INSULATED W/INSULATION PER ENERGY CODE, AND CANTILEVERED FLOORS EXPOSED TO THE EXTERIOR MUST BE INSULATED PER CURRENT ENERGY CODE.

6. STRUCTURAL WOOD UNDER-FLOOR AREAS MUST BE VENTILATED WITH A MECHANICAL VENTILATION SYSTEM CAPABLE OF EXHAUSTING A MIN. OF 5 AIR CHANGES PER HOUR. THE VENTILATION SYSTEM SHALL BE CONTROLLED BY AN APPROVED HUMIDISTAT. MAKEUP AIR SHALL BE PROVIDED IN THE SAME AMOUNT AS EXHAUSTED. AN APPROVED IO MIL. MINIMUM GROUND VAPOR BARRIER (SEALED AT CRAWL WALLS, JOINTS AND OPENINGS) INSTALLED OVER GROUND, UNDER STRUCTURAL BASEMENT FLOOR AND IN CRAWL SPACES.

7. PROVIDE | S.F. per | 150 S.F. CRAWL SPACE VENTILATION. LOCATE OPENINGS AS CLOSE TO CORNERS AS POSSIBLE TO PROVIDE CROSS VENTILATION. DISTRIBUTE OPENINGS ALONG THE LENGTH OF TWO OPPOSITE SIDES. COVER OPENINGS W/ CORROSION RESISTANT WIRE W/ MESH OPENINGS OF 1/4" IN DIM.

8. PROVIDE MIN OF 18" CLEARANCE FROM UNDERSIDE OF JOISTS TO EARTH. PROVIDE MIN OF 12" CLEARANCE FROM UNDERSIDE OF BEAM TO EARTH.

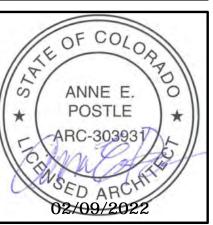
9. PER CODE GLAZING NEED NOT BE OPERABLE WHEN WHOLE HOUSE MECH VENT SYSTEM PROVIDES VENTILATED AIR AT A FLOW OF 15 ofm AND ARTIFICIAL LIGHTING IS CAPABLE OF PROVIDING 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" AFF

IO. FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-IN. GYPSUM WALLBOARD MEMBRANE, 5/8-IN. WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. SEE CODE FOR EXCEPTIONS.

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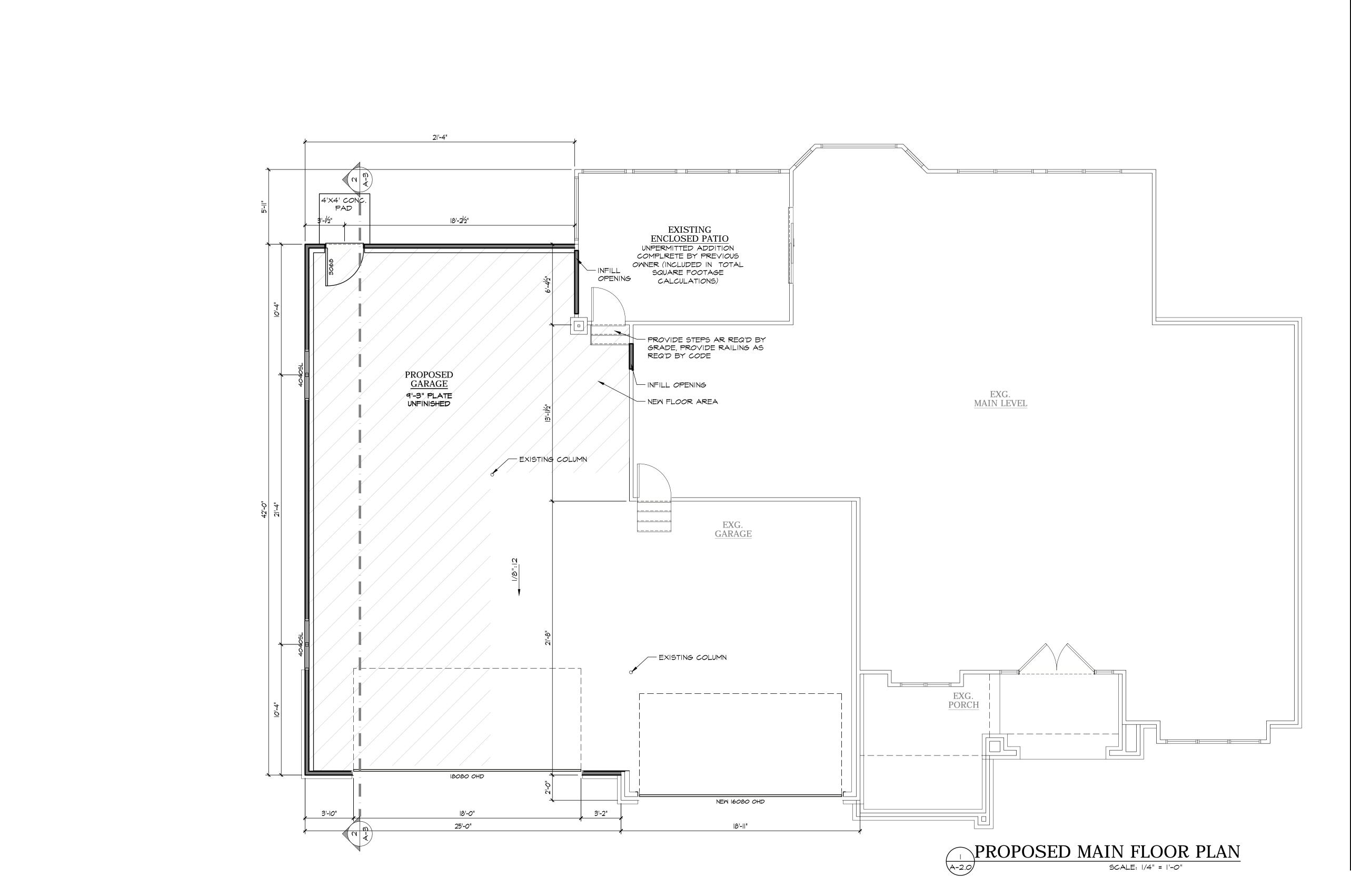
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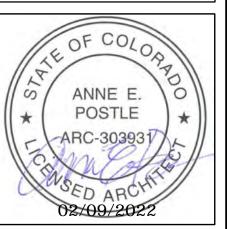


PLAN NOTES:

- . ALL WEATHER-EXPOSED
 SURFACES SHALL HAVE A
 WEATHER RESISTIVE BARRIER TO
 PROTECT THE INTERIOR WALL
 COVERING. SUCH BARRIER SHALL
 BE EQUAL TO THAT PROVIDED
 FOR WATERPROOF BUILDING
 PAPER OR ASPHALT-SATURATED
 FELT. IRC R703.1,2
- 2. FIRE BLOCKS ARE REQUIRED MITHIN STUD WALLS AT 10' INTERVALS AND AT THE FLOOR AND CEILING. FIRE BLOCKS ARE ALSO REQ'D AT FLOOR AND CEILING PENETRATIONS AROUND VENTS, PIPES, DUCTS, ETC. THE INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (SOFFITS), BETWEEN STAIR STRINGERS, AND IN THE OPENINGS BETWEEN CHIMNEY CHASES AND ATTIC SPACES MUST BE FIRE STOPPED. FIRE BLOCKS MUST BE PROVIDED MITHIN UNFILLED SLEEPER-TYPE FLOOR SYSTEMS SO THAT NO AREA EXCEEDS 100 S.F. IRC 602.8. FIRE BLOCK MATERIAL MAY BE 2" NOMINAL LUMBER, GYP. BOARD, ETC., SECURELY FASTENED IN PLACE. LOOSE INSULATION IS NOT ACCEPTABLE. IRC 602.8
- LANDINGS ARE REQ'D ON BOTH SIDES OF EXTERIOR DOORS (MIN. 36"X36"), INCLUDING THE OPERABLE SIDE OF SLIDING DOORS. THE LANDINGS MAY BE NO MORE THAN 73/4" BELOW THE THRESHOLD OF THE DOOR AS LONG AS THE DOOR DOES NOT SWING OVER THE LANDING. IRC R311.3.
- 4. DRYER VENT SHALL BE EXTENDED TO EXTERIOR WEATHER HOOD. DRYER DUCTS SHALL BE 4" MINIMUM DIAMETER, 35' IN LENGTH MAXIMUM (THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND. PER MI502.4.5
- FIREPLACES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THESE INSTRUCTIONS MUST BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION AND THE MANUFACTURER MODEL AND LISTING NUMBER MUST BE SUBMITTED TO THE PERMIT FILE. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.
- 6. SHOWERS AND TUB-SHOWER
 COMBOS MUST BE PROVIDED WITH
 INDIVIDUAL CONTROL VALVES OF
 THE PRESSURE BALANCE OR THE
 THERMOSTATIC MIXING VALVE
 TYPE. HANDLE POSITION STOPS
 ARE REQ'D AND MUST BE
 ADJUSTED PER THE MFG'S
 INSTRUCTIONS TO DELIVER A MAX
 MIXED WATER SETTING OF 120
 DEGREES F. THE WATER HEATER
 THERMOSTAT IS NOT CONSIDERED
 A SUITABLE CONTROL FOR
 MEETING THIS PROVISION. SECTION
 410.7, UPC.
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH OPENS DIRECTLY INTO A YARD OR PUBLIC WAY. THE DOOR OR WINDOW SHALL BE OPERABLE FROM INSIDE TO PROVIDE A FULL CLEAR OPENING W/O USE OF SEPARATE TOOLS. ESCAPE WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQ. FT., A MIN. HT. OF 24" AND MIN. WIDTH OF 20". FINISHED SILL HT. SHALL NOT BE MORE THAN 44" TO BOTTOM OF CLEAR OPENING. EGRESS WINDOWS AT MAIN LEVEL IS ALLOWED TO BE **5 SQ./FT**. WITH 20" MINIMUM WIDTH AND 24" MINIMUM HEIGHT.
- B. FRAMING MEMBERS CARRYING CEILINGS WITH WATER RESISTANT GYP. BD. SHALL BE A MAX OF 12" ON CENTER.
- ALL ANGLES OTHER THAN RIGHT ANGLES ARE 45 DEGREES UNLESS NOTED OTHERWISE.
- IO. ALL EXTERIOR WALL ARE 2X6 \$
 INTERIOR WALLS ARE 2X4 UNLESS
 NOTED OTHERWISE.

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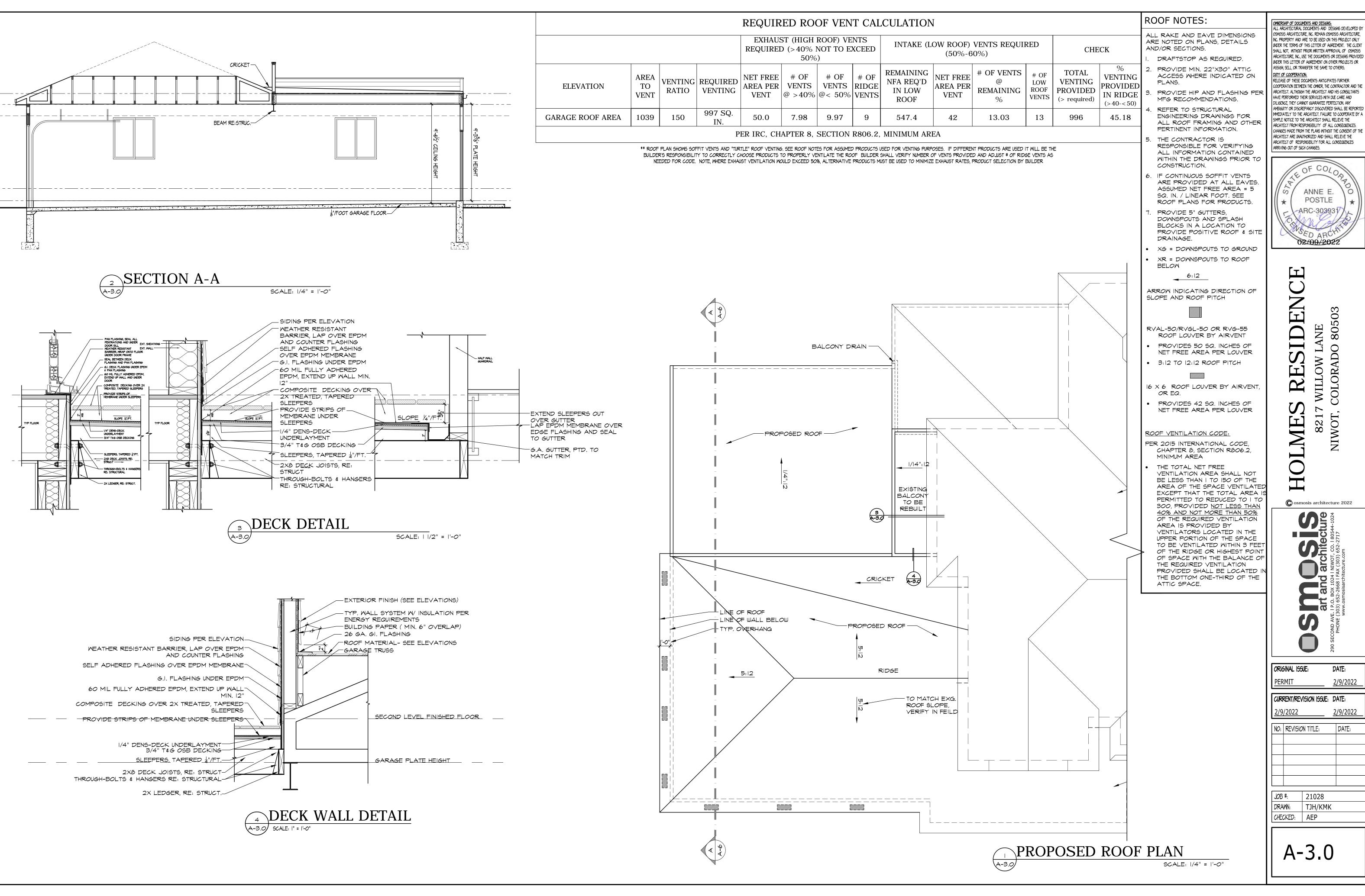
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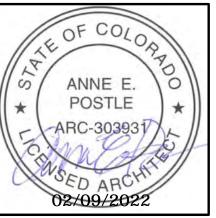
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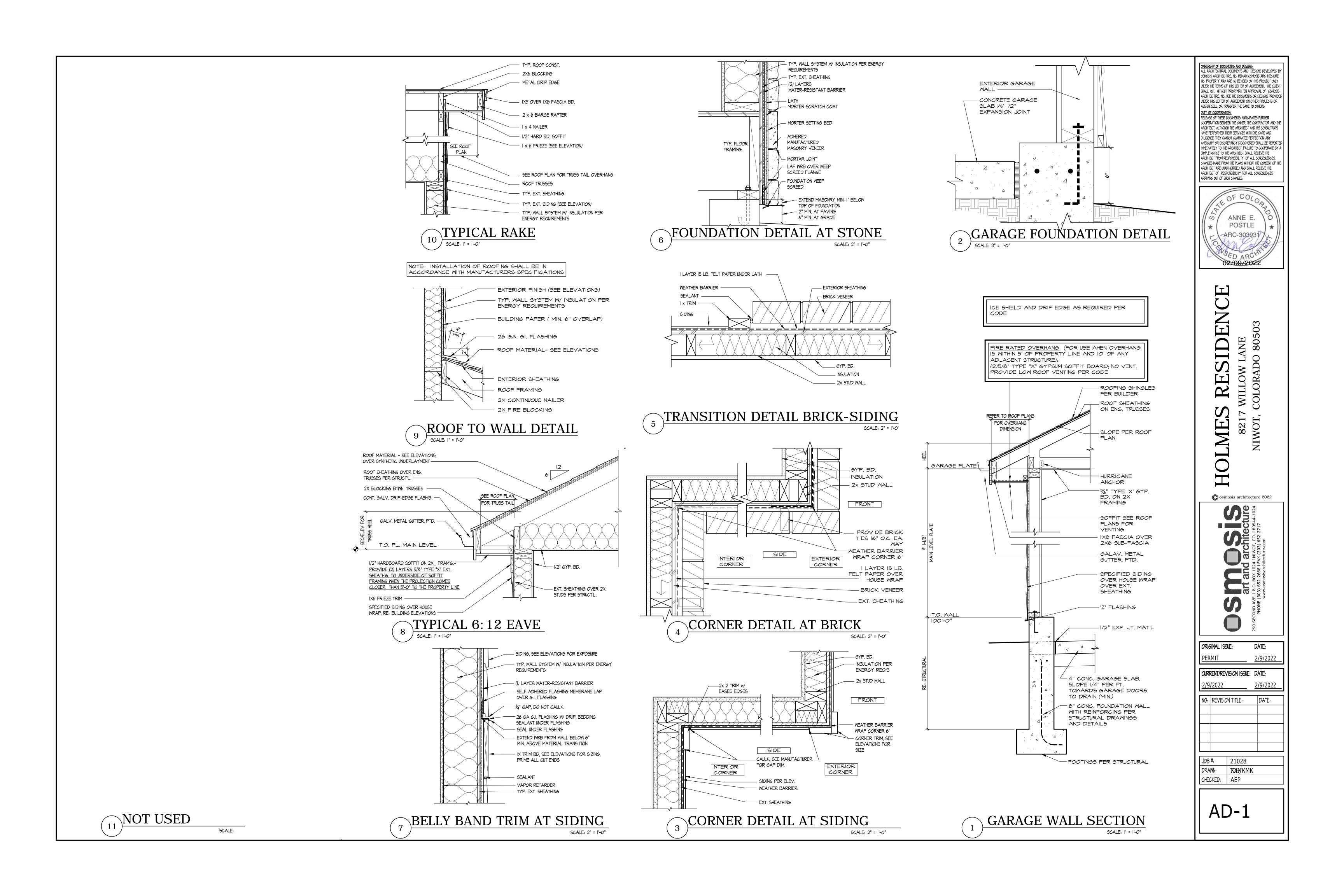
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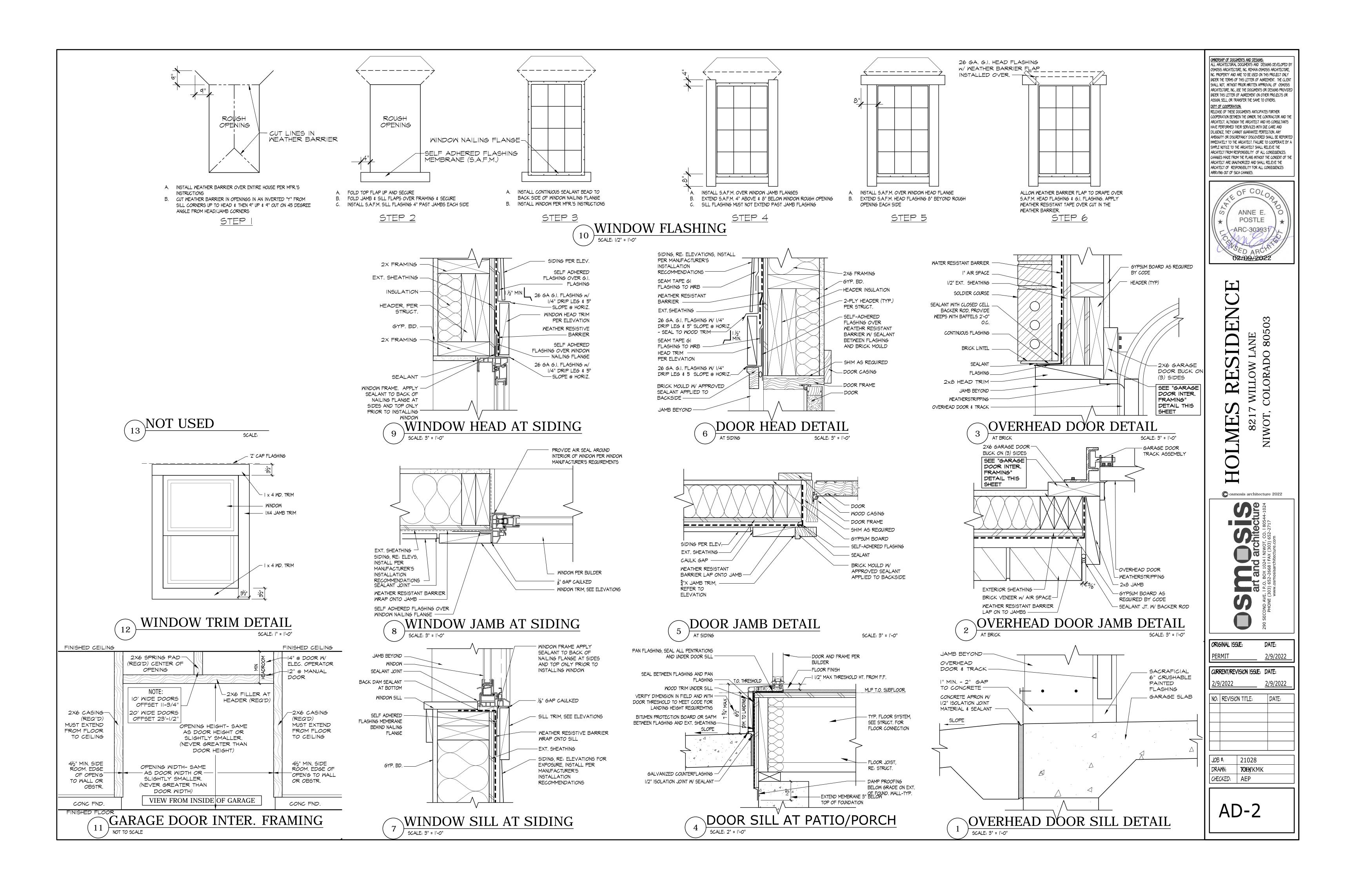


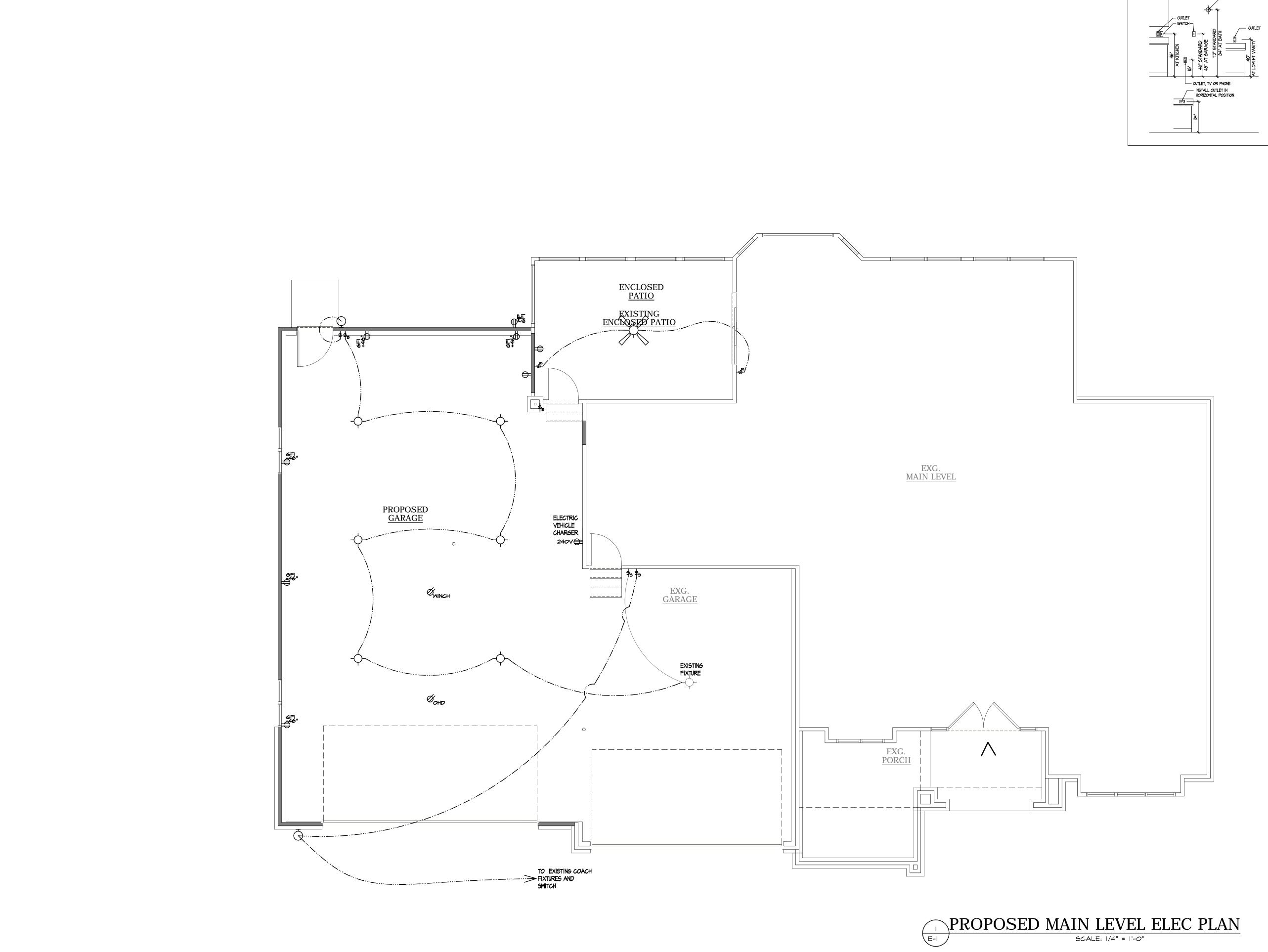


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TYPICAL INSTALLATION HEIGHTS

DUPLEX OUTLET ORE WEATHERPROOF DUPLEX OUTLET

GROUND-FAULT CIRCUIT-INTERRUPTER

→ HALF-SWITCHED DUPLEX OUTLET DUPLEX OUTLET IN FLOOR

⇒ 220 VOLT OUTLET \$ WALL SWITCH

\$3 THREE-WAY SWITCH FOUR-WAY SWITCH DIMMER SWITCH RHEOSTAT SWITCH

RECESSED LIGHT FIXTURE

RCSD. ADJ. EYEBALL LIGHT FIXTURE MP. RECESSED DAMP PROOF LIGHT FIXTURE - LIGHT FIXTURE WITH PULL CHAIN

MALL WASHER/STEP LIGHT SPECIAL PURPOSE OUTLET/JUNCTION BOX

REINFORCED JUNCTION BOX TRACK LIGHT FLUORESCENT LIGHT FIXTURE

EXHAUST FAN (VENT TO EXTERIOR, NOTE # EXHAUST FAN/LIGHT COMBO. (VENT TO EXTERIOR, NOTE # 3)

OF OUTLET FOR GARAGE DOOR OPENER CHIMES CHIMES/DOORBELL

PUSHBUTTON SWITCH TECH PORTS (PHONE, 2 DATA, CABLE)

TECH PANEL (SD) SMOKE DETECTOR, (NOTE # 4)

CARBON MONOXIDE DETECTOR, (NOTE # 4) ▼ TELEPHONE

TELEVISION THERMOSTAT

ELECTRIC METER POWER PANEL ELECTRIC PANEL

CEILING FAN (PROVIDE ADEQUATE SUPPORT)
DASHED LINE INDICATES PRE-WIRE ONLY

CEILING FAN W/LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) DASHED LINE INDICATES PRE-WIRE ONLY

UNDER COUNTER LIGHT FIRE SPRINKLER

ELECTRICAL NOTES:

Unless otherwise indicated, install switches, receptacles, etc. at the following heights above

Outlets..... Telephone... Television..... Outlets above low bath countertop..... Outlets above kitchen countertop.... Garage Switches and Outlets.... Thermostat.....

Field verify location of fixture where indicated. All bathroom exhaust fans shall be connected, (exhausted)

directly to the outside and shall provide a minimum of 50cfm intermittently and 20cfm cont. All smoke detectors & carbon monoxide detectors shall be interconnected to provide alarm which will be audible in sleeping areas. Detectors must receive power from 120 volt building wiring with battery backup. CO detectors are required to be installed outside sleeping areas in immediat vicinity of bedrooms. Smoke alarms are required to be located within each sleeping room, outside éach sleeping area in immediate vicinity, on each story, and within 3' of a bathroom containing a tub/shower. CO detectors are required to be installed in bedrooms where a fuel burning appliance is located or in its attached bathroom. Section R314 R315

5. Countertop receptacles shall be installed at each countertop space 12" or wider and at no point along the countertop is 24" from a receptacle with exceptions at sinks

and ranges. 6. A minimum of two 20-ampere-rated branch circuits shall be provided to serve all wall and floor receptacle outlets located in the kitchen, pantry, breakfast area, dining area or similar area of a dwelling. The kitchen countertop receptacles shall be served by a minimum of two 20-ampere-rated branch circuits, either or both of which shall also be permitted to supply other receptacle outlets in the same kitchen, pantry, breakfást and dining area including

receptacle outlet's for refrigeration appliances. A maximum of eight electrical outlets may be connected to a 15 ampere branch circuit (Refer to any local amendments if

The grounding electrode system shall include an electrode encased by at least 2" of concrete, located within and near the bottom of a concrete foundation or footing that is in direct contact with the earth, consisting of at Teast 20 ft of one or more bare or zinc galvanized or other electronically conductive coated steel reinforcina bars or rods of not less than 1/2" dia. or consisting of at least 20 ft bare copper conductor not smaller than No. 2. Article 250-81(C), NEC

Light fixtures in clothes closets must comply with Article 10-8 Receptacle outlets must be installed in habitable rooms so that at no point along the floor line in any wall space 2 ft or more in length is more than 6' measured horizontal from outlet. Article 210-52A, NEC

ottlet. Article 210-527, NEC

1. A minimum of 75% of the lamps in permanently installed lighting fixtures shall be high-efficacy lamps or not less than 75% of the permanently installed lighting fixtures shall only contain high-efficacy lamps, per section NIIO4.1 2. If a concrete slab floor is used in the basement, then a

continuously running fan is required in the laundry room. Provide tamper-resistance receptacles in locations required by code. '14. Branch circuits serving habitable spaces shall be ARC fault

protects (IRC E3902.12)

5. Gas manifold serving CSST gas tubing shall be bonded to the electrical service grounding electrode system. (IRC G2411.1.1)

16. All receptacle outlets located within 6 of the edge of sinks, including those below sinks, must be GFCI protected, except disposals. Article 210.8(A)(7), NEC . All receptacle outlets located in a laundry area must be

GFCI protected. Article 210.8(A)(10), NEC 3. GFCI outlet for dishwasher may not be located behind the dishwasher. Article 210.52(B)(1), NEC Flexible cord for dishwasher may not be longer than 6.5 ft. Article 422.16(B)(2),NEC

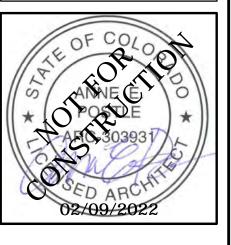
9. At least one receptacle outlet must be installed at each penninsular countertop that is more than 24" in length, measured from the adjoining wall. Article 210.52(C)(3), NEC 20. In both attached and detached garages with electric power there must be at least one receptacle outlet, or there must be at least one receptacle outlet installed for each car

space. Article 210.52(G)(1), NEC ?1. Light fixtures in crawl spaces must be GFC1 protected.

Article 210.8(E), NEC

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