



Community Planning & Permitting (CPP)

Courthouse Annex - 2045 13th Street - Boulder, Colorado 80302 - (303) 441-3930 - Fax 303-441-4856

Mailing Address: Post Office Box 471 - Boulder, Colorado 80306 www.bouldercounty.org

MEMORANDUM

TO: Agencies, Adjacent Property Owners And Interested Parties

FROM: Abigail Scheuermann, Planner I

SUBJECT: Request to waive Site Plan Review at
8217 WILLOW LANE, UNINCORPORATED, CO 80503

DOCKET: SPRW-22-0045: Beveridge Attached Garage and Screened Porch

DATE: 10/10/2022

The purpose of this memorandum is to inform interested parties that the above listed address is under consideration by the CPP Director for a waiver from the Site Plan Review process for:

Site Plan Review Waiver request proposing the construction of a 788 square-foot attached garage and a 205-square-foot closed in porch on a .73 acre parcel with 5,782 square-feet of existing residential floor area and a presumptive size maximum of 7,054 square-feet.

The Site Plan Review (SPR) regulations allow for certain types of minor projects, which are likely to be less impacting, to be waived from the full SPR process that would normally be required to approve their construction. These projects are eligible for an expedited review called the "Site Plan Review Waiver (SPRW)," during which the SPR standards are analyzed in a shorter timeframe.

In the plains, nonresidential accessory structures that are less than 5,000 square feet are eligible for this expedited review; in the mountainous areas of the county, nonresidential accessory structures less than 2,000 square feet are eligible for this expedited review. Additionally, increases in residential floor area up to 2,000 sq.ft., which result in a total residential size on the parcel that is 125% or less of the median residential floor area for the defined neighborhood may be reviewed through this expedited review, as well as earthwork involving less than 500 cubic yards.

Waivers from SPR may be granted if the CPP Department does not find the proposal to be in conflict with the standards listed in Article 4-806 of the Boulder County Land Use Code. However, the SPRW determination may include written terms and conditions. The project, even if granted a waiver, is subject to the applicable building permit and building code requirements.

Article 4-802(C) requires that adjacent property owners be notified of the request to waive SPR. The CPP Department appreciates any comments that you may have regarding this proposal. Please direct any written or verbal comments to the CPP Department by **10/17/2022**. If you have any questions or comments, feel free to contact this office at planner@bouldercounty.org or **(303) 441-3930**.

cc: HOLMES JEFFREY GILBERT, Property Owner
Ben Beveridge, Agent



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

<i>Shaded Areas for Staff Use Only</i>
Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name	
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent		<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning	
<input type="checkbox"/> Road Name Change <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Site Plan Review <input checked="" type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP		<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:	
Location(s)/Street Address(es) <u>8217 Willow Lane</u>			
Subdivision Name <u>Spring Hill Sub PUD replat A NIV set</u>			
Lot(s) <u>4</u>	Block(s) <u>2</u>	Section(s) <u>31-2N-CA</u>	Township(s) _____
Area in Acres <u>3/4</u>	Existing Zoning <u>RR</u>	Existing Use of Property <u>residential</u>	Number of Proposed Lots _____
Proposed Water Supply _____		Proposed Sewage Disposal Method _____	

Applicants:

Applicant/Property Owner <u>Ben Beveridge</u>		Email <u>bbeveridge@porchfronthomes.com</u>	
Mailing Address <u>102 2nd AV</u>			
City <u>Niwot</u>	State <u>CO</u>	Zip Code <u>80544</u>	Phone <u>720-360-8166</u>
Applicant/Property Owner/Agent/Consultant <u>Jeff Holmes</u>		Email <u>ferris_h@hotmail.com</u>	
Mailing Address <u>8217 willow lane</u>			
City <u>Niwot</u>	State <u>CO</u>	Zip Code <u>80503</u>	Phone _____
Agent/Consultant _____		Email _____	
Mailing Address _____			
City _____	State _____	Zip Code _____	Phone _____

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner	Printed Name <u>Jeffrey G. Holmes</u>	Date <u>5 Oct 2022</u>
Signature of Property Owner _____	Printed Name _____	Date _____

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.






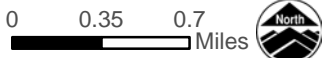
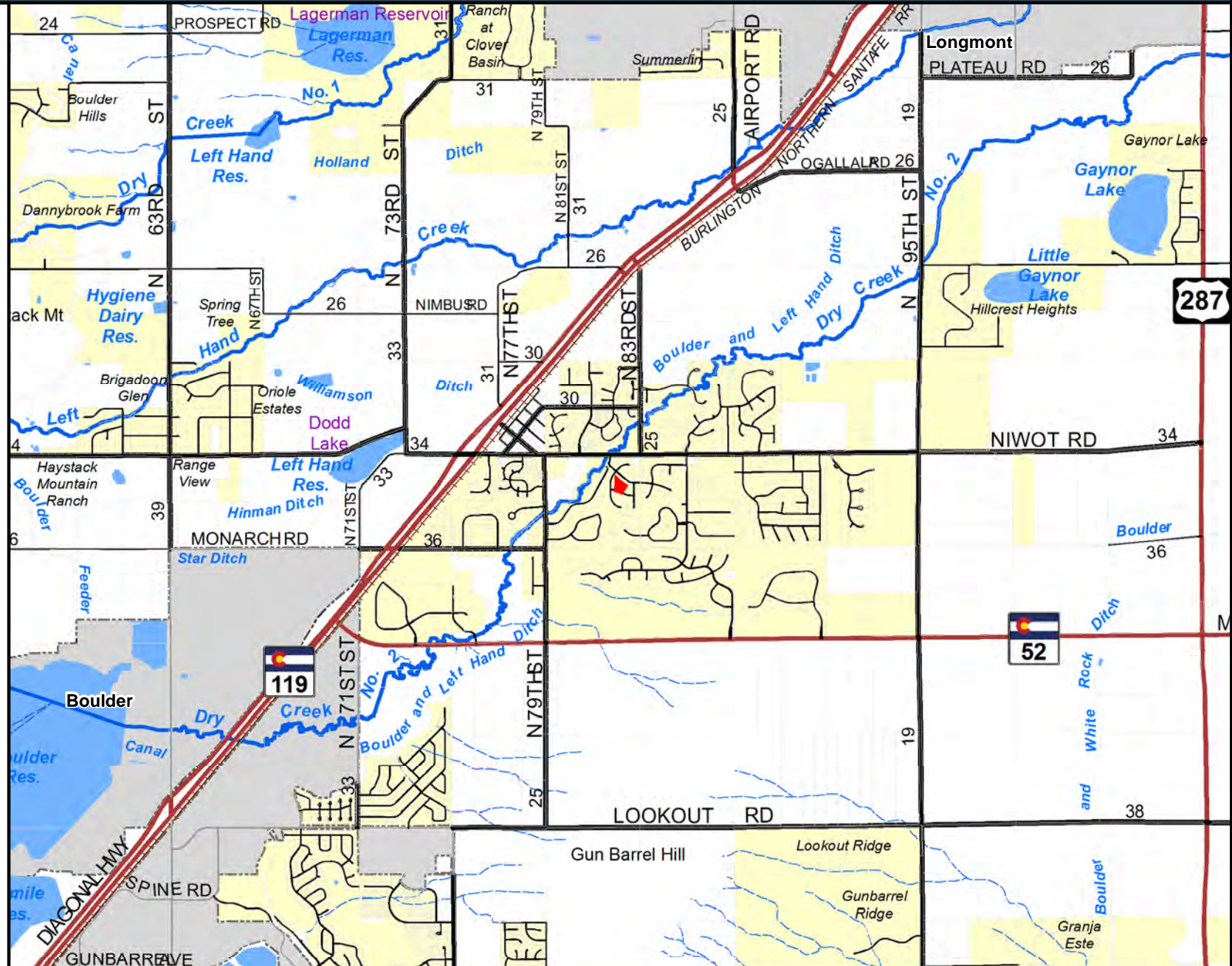
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

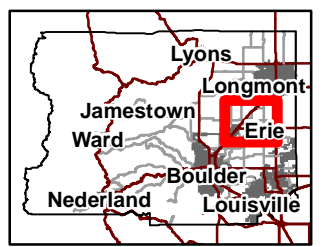
Vicinity

8217 WILLOW LN

-  Subject Parcel
-  Municipalities
- Subdivisions**
-  Subdivisions



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Location

8217 WILLOW LN

Subject Parcel

Subdivisions

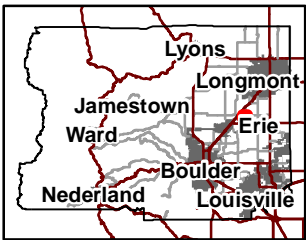
Subdivisions



0 0.035 0.07 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer




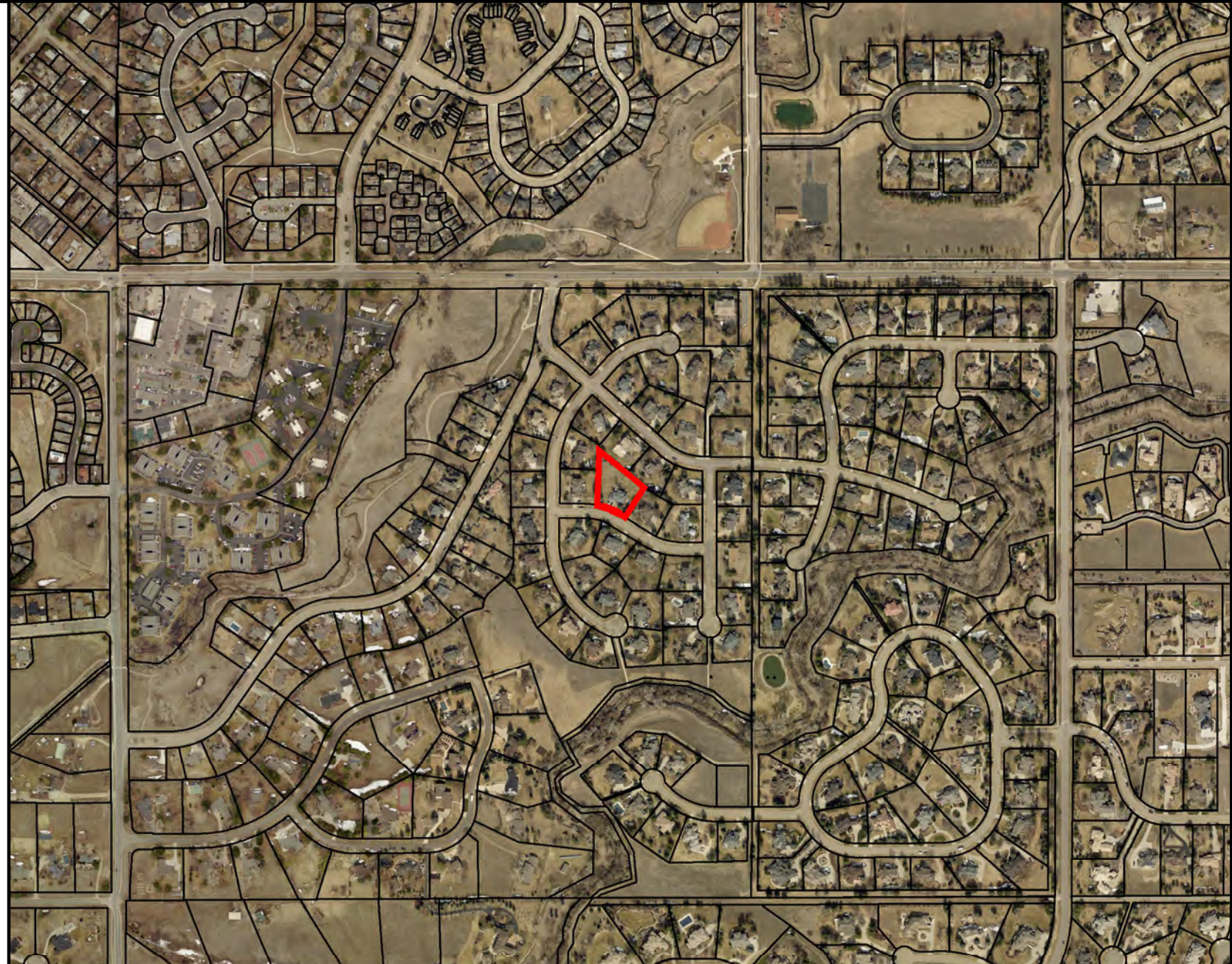
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Aerial

8217 WILLOW LN

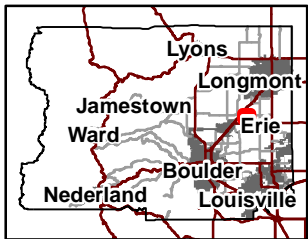
 Subject Parcel



0 0.05 0.1 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



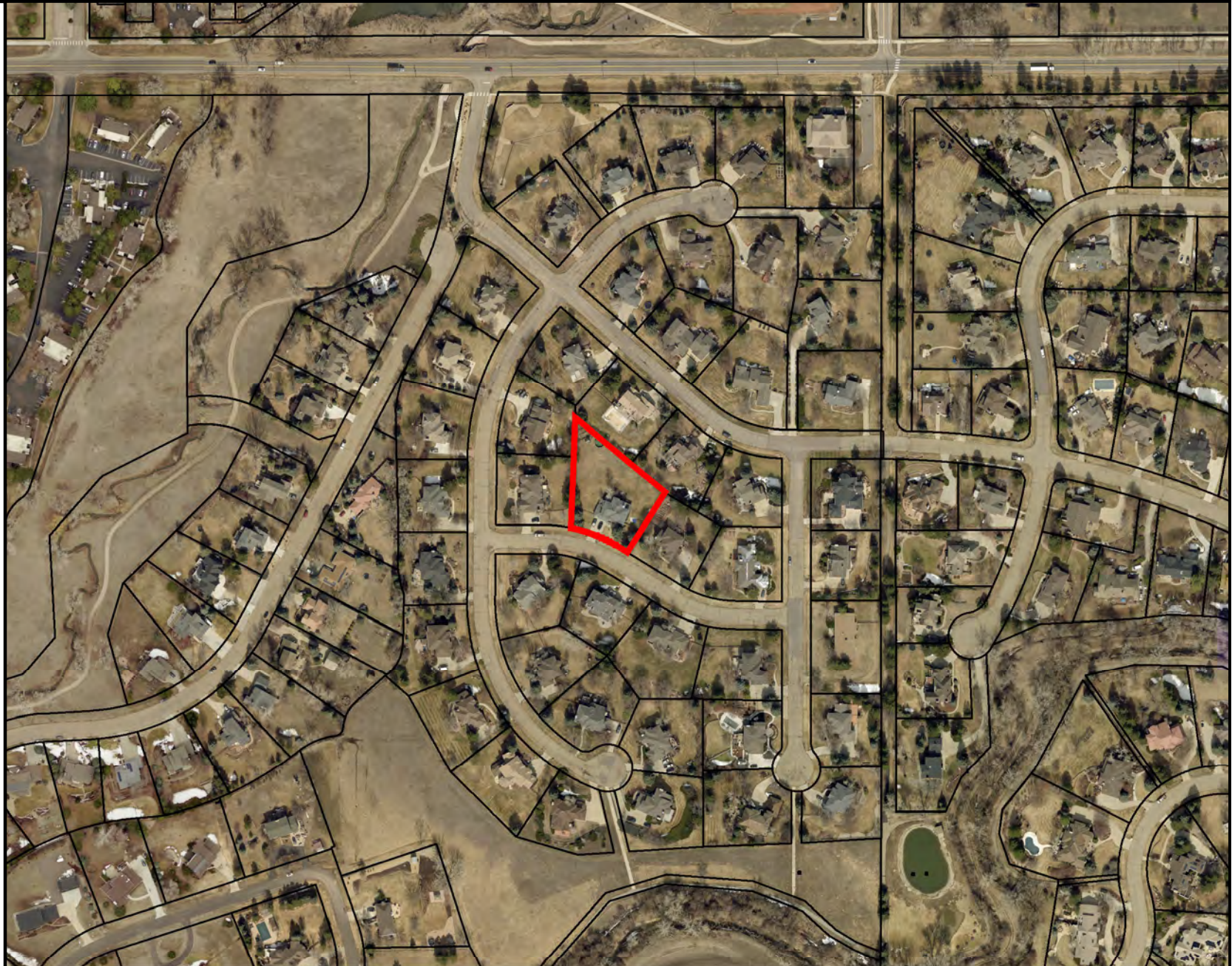
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Aerial

8217 WILLOW LN

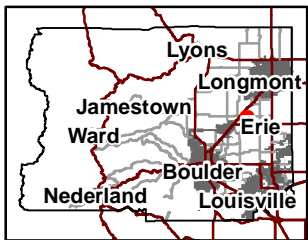
 Subject Parcel



0 0.025 0.05 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Comprehensive Plan

8217 WILLOW LN

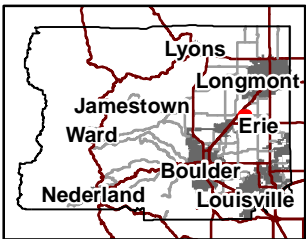
 Subject Parcel



0 0.025 0.05 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer






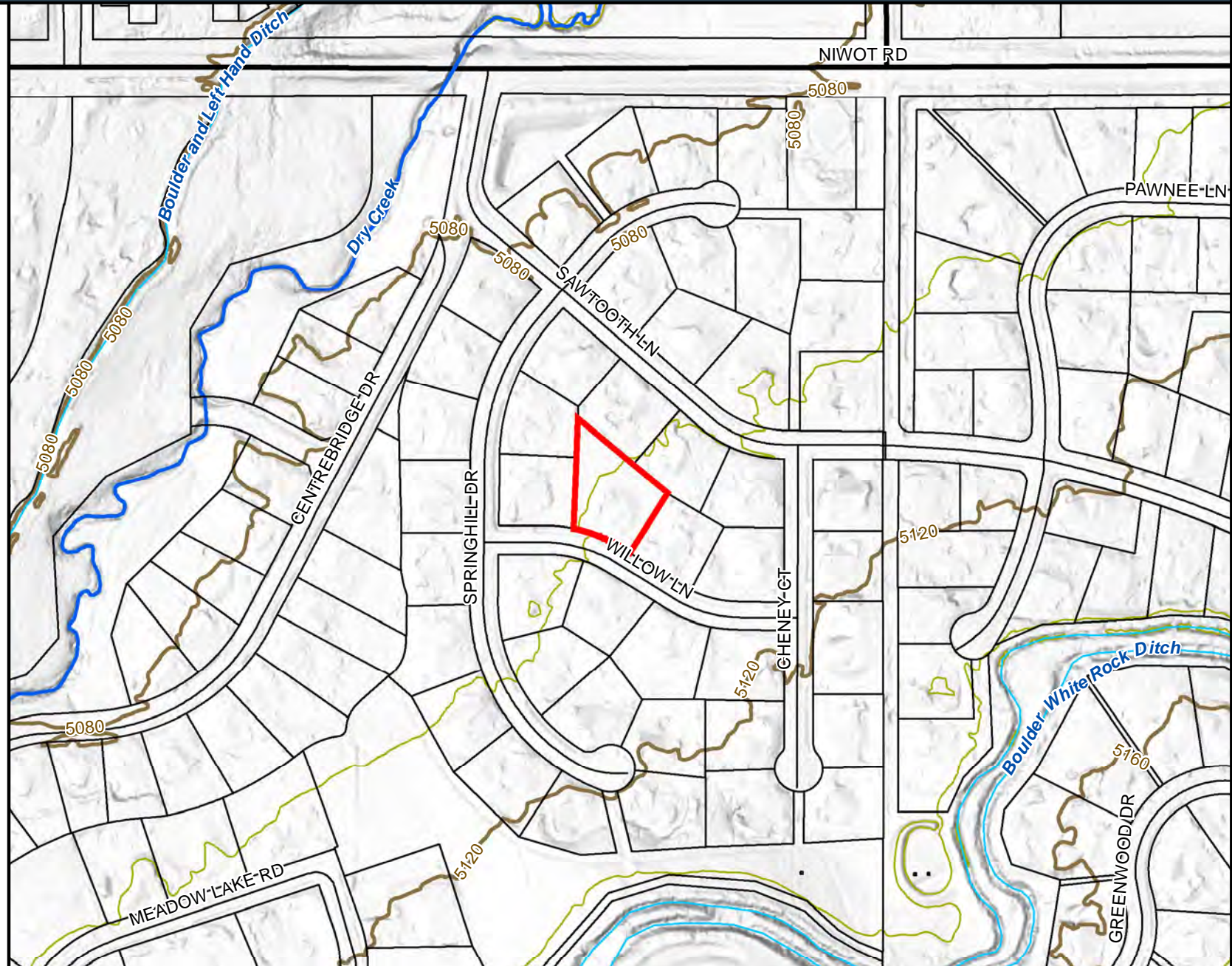
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Elevation Contours

8217 WILLOW LN

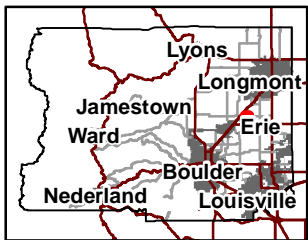
-  Subject Parcel
-  Contours 40'
-  Contours 20'



0 0.025 0.05 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer





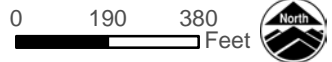
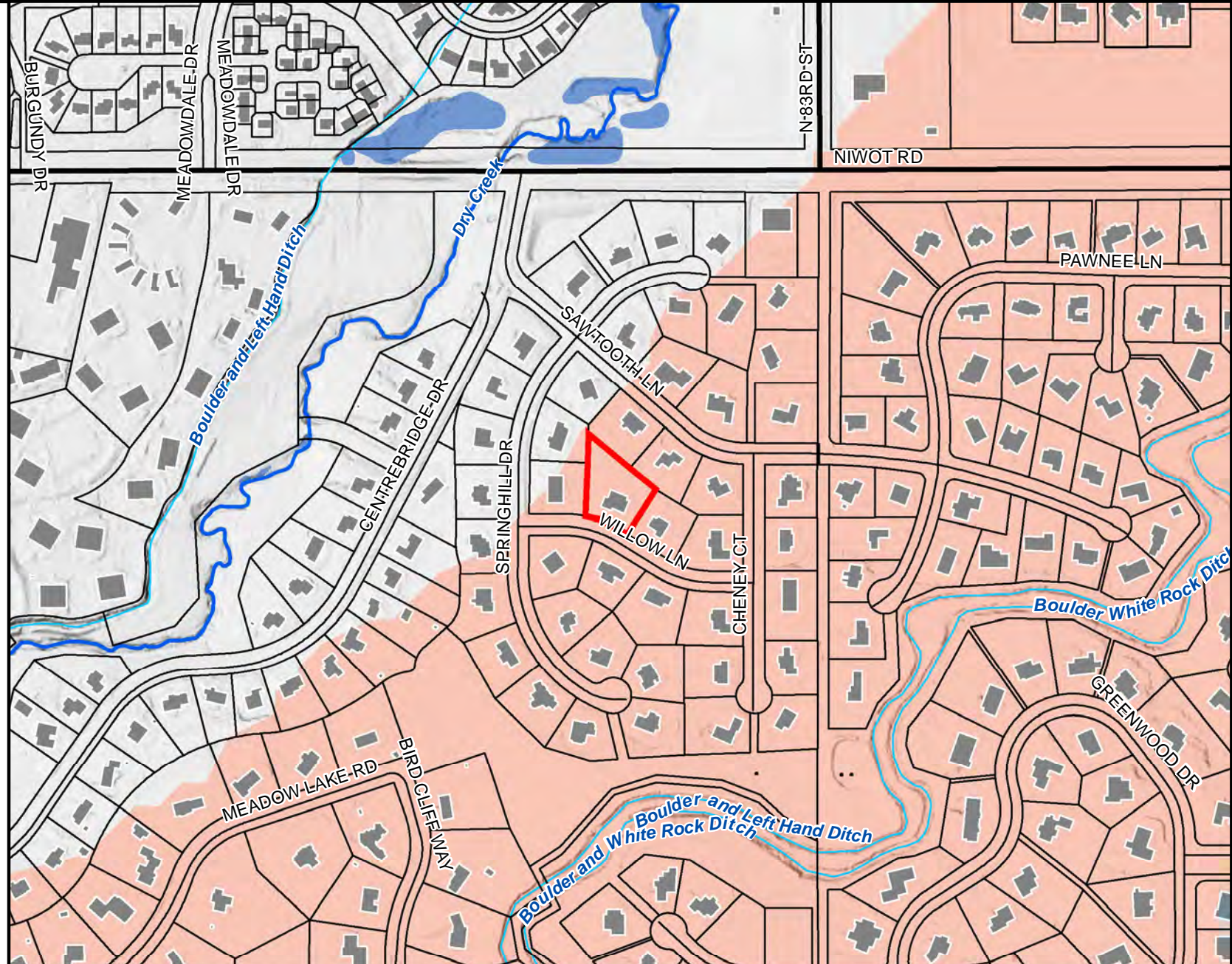
Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

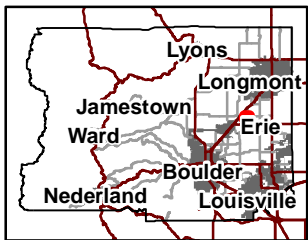
Geologic Hazards

8217 WILLOW LN

-  Subject Parcel
-  High Swelling Soil Potential



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

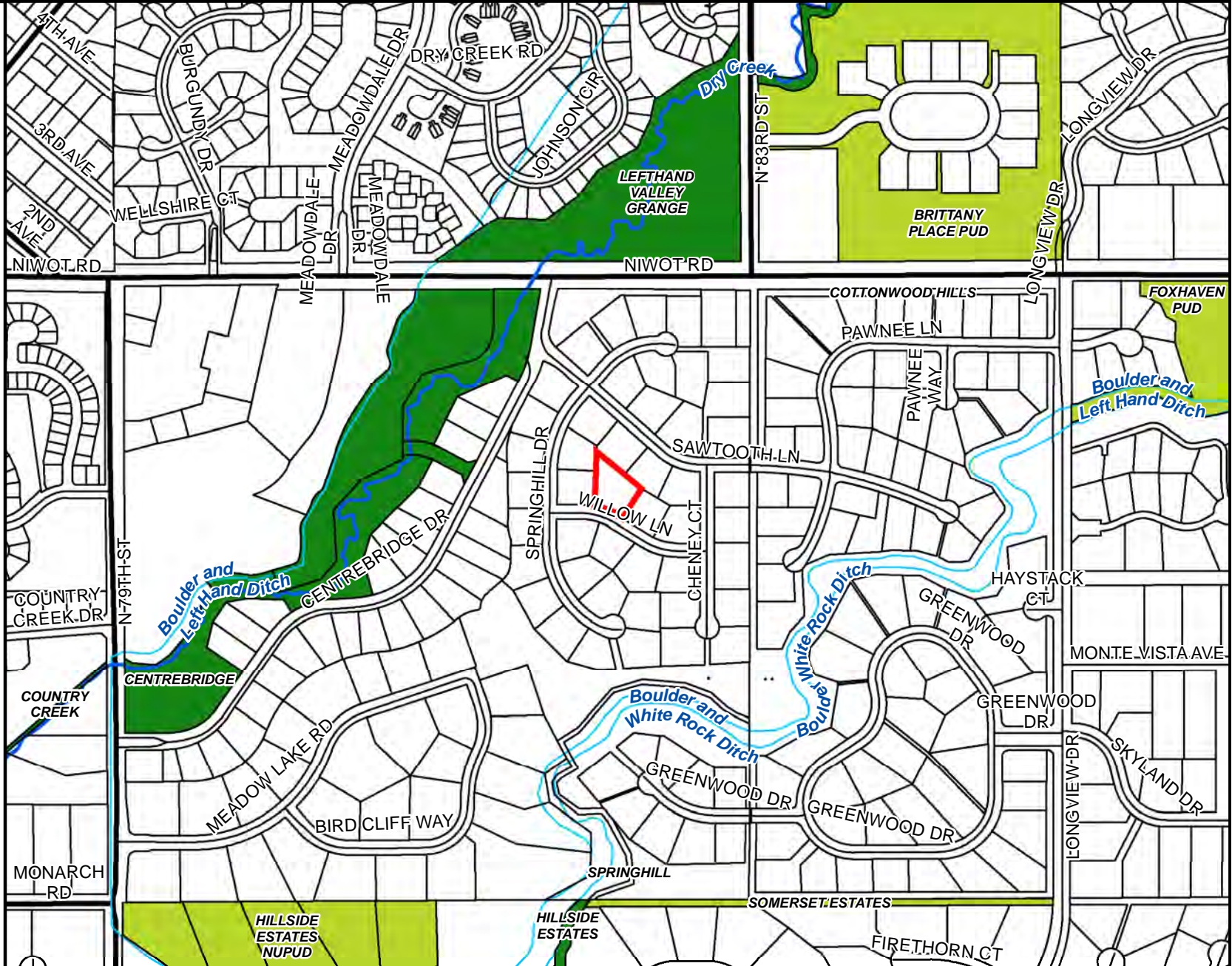
Public Lands & CEs

8217 WILLOW LN

Subject Parcel

Boulder County Open Space

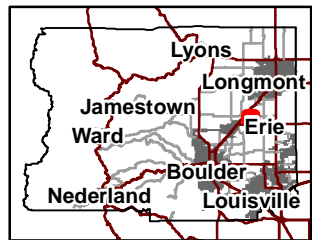
- County Open Space
- County Conservation Easement



0 0.05 0.1 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer



Community Planning & Permitting

2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org

Zoning

8217 WILLOW LN

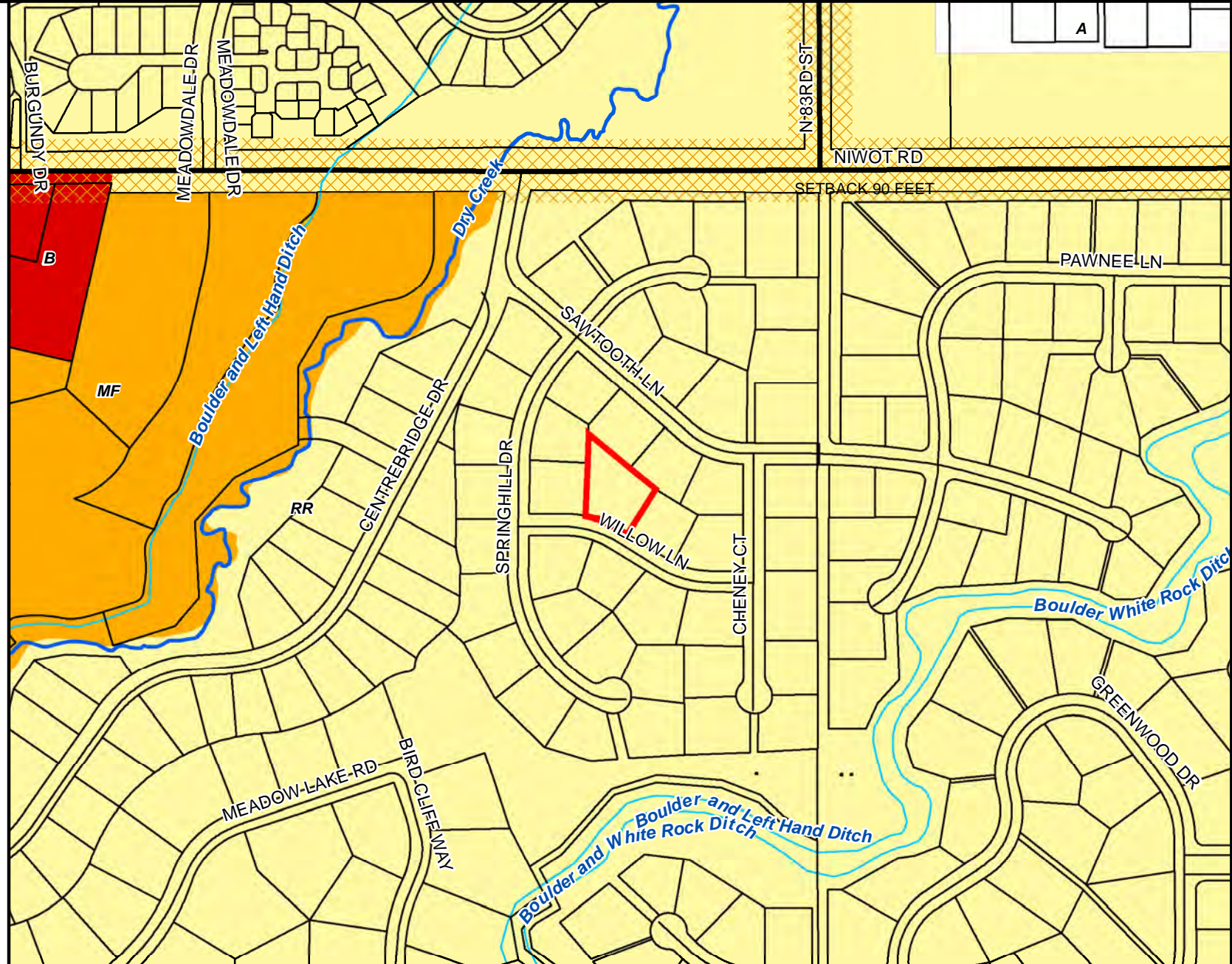
Subject Parcel

Major Road Setbacks

90 feet

Zoning Districts

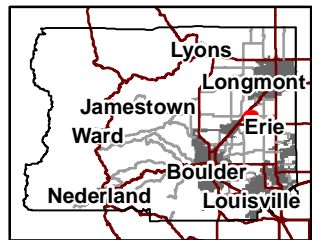
- Agricultural
- Business
- Multiple Family
- Rural Residential



0 0.035 0.07 Miles



Area of Detail Date: 2/22/2022



The user agrees to all Terms of Use set forth by Boulder County. For Terms of Use, please visit: www.bouldercounty.org/mapdisclaimer

THE HOLMES RESIDENCE REMODEL

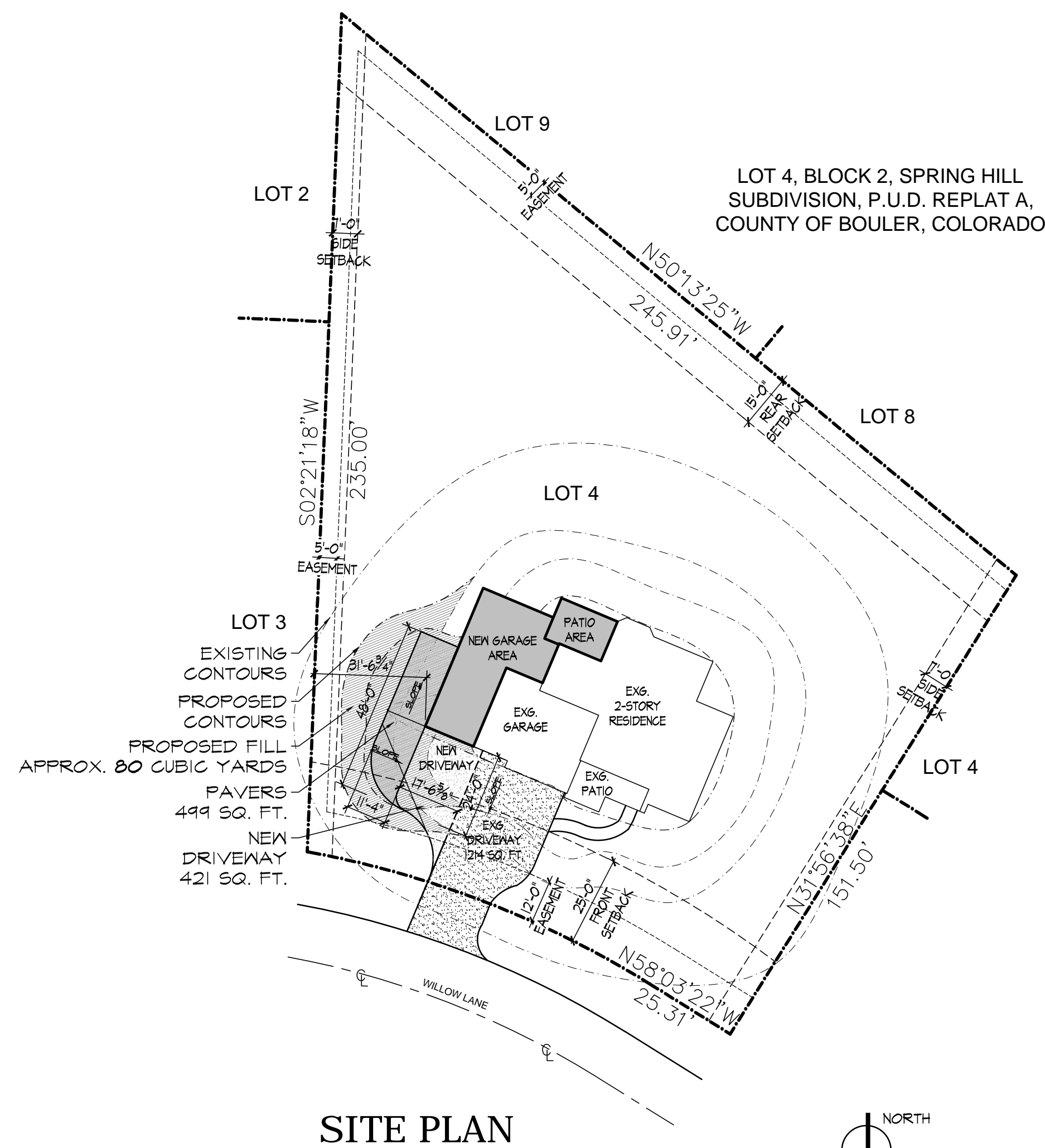
NEW SQUARE FOOTAGE - 993	AREA (SQUARE FEET)
ADDITIONAL CONDITIONED SPACE - ENCLOSED PATIO:	205 S.F.
ADDITIONAL GARAGE AREA:	788 S.F.
TOTAL ADDED AREA:	993 S.F.

BOULDER COUNTY LAND USE	
TOTAL BUILDING AREA FOR SIZE REQUIREMENTS (MF, LL, UF, GARAGE)	5,782 S.F.
125% OF THE MEAN BASED ON REPORT PROVIDED	7,084 S.F.
AMOUNT OF ADDITIONAL S.F. ALLOWED ON SITE	1,272 S.F.

THE ANSI Z765 Method of Calculating Single Family Residential Square Footage WAS USED TO DETERMINE FINISHED AND UNFINISHED SQUARE FOOTAGE. CALCULATIONS FOR THIS HOUSE ARE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE ACTUAL SQUARE FOOTAGE OF THE HOUSE AS BUILT.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH ALL STATE AND LOCAL CODES AND ORDINANCES, AND SHALL BE PERFORMED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE APPROPRIATE TRADES.
- THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL OF THE NECESSARY INFORMATION REQUIRED TO COMPLETE A MAJORITY OF THE WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ALL CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR NEGLECTED IN THE DOCUMENTS.
- SHOP DRAWINGS MAY BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK BEGINS, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS AND BE SUBJECT TO REPLACEMENT AS DEEMED NECESSARY BY THE ARCHITECT.
- THE BUILDING INSPECTOR SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS NEED OF INSPECTION AS REQUIRED BY THE INTERNATIONAL RESIDENTIAL CODE OR ANY LOCAL CODE OR ORDINANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED COMPLETED TO THE OWNER.
- ALL NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. NOTED DIMENSIONS WITH "N.T.S." DENOTES NOT TO SCALE.
- CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
- DO NOT SCALE DRAWINGS.
- ANY DISCREPANCY FOUND BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- ALL WOOD VENEER IN CABINETRY TO MATCH IN SPECIES AND COLOR INCLUDING DOOR FACE, FILLERS, LIGHT VALENCE, EDGE TAPE, ETC.
- PROVIDE ATTIC STOCK IN EACH UNIT FOR ALL FINISHES.
- CONTRACTOR TO PROVIDE TEMPORARY SIGNAGE FOR ALL BUILDINGS DURING CONSTRUCTION AS REQUIRED.



SITE PLAN

SCALE: 1" = 30'

CODE COMPLIANCE

APPLICABLE CODES:
 2015 International Residential Code
 2015 International Plumbing Code
 2015 International Mechanical Code
 2015 International Fire Code
 2015 International Energy Conservation Code
 2017 National Electric Code
 Local Amendments:
 BOULDER COUNTY & BOULDER COUNTY BUILDSMART

LIST OF ABBREVIATIONS

#	AT	IV	FIELD VERIFY	Holder	T&G	TONGUE AND GROOVE
#	AND	FO	FINISH OPENINGS	TO	TO	TOP OF...
ABV	ABOVE	FP	FIRE PLAGE	TOC	TOC	TOP OF CONCRETE
AFF	ABOVE FINISH FLOOR	FDN	FLOOR DRAIN FOUNDATION	TOP	TOP	TOP OF FLOOR
ADJ	ADJACENT	GI	GALVANIZED IRON	TOM	TOM	TOP OF MASONRY
AL	ALUMINUM	GA	GAUGE	TOS	TOS	TOP OF STEEL
APPROX	APPROXIMATE	GYP	GYPSUM	TOA	TOA	TOP OF WALL
ARCH	ARCHITECTURAL	HC	HANDICAP	OC	OC	ON CENTER
BRS	BEARING	HVAC	HEATING	OPNG	OPNG	OPENING
BLM	BELOW	OD	OUTSIDE DIAMETER	OH	OH	OVERHEAD
BD	BOARD	OR	OVERHEAD RING	TR	TR	TREAD
BO	BOTTOM OF...	HM	HOLLOW METAL	T	T	TUBE STEEL
CANT	CANTILEVER	HR	HORIZONTAL	TYF	TYF	TYPICAL
CPT	CARPET	INT	INTERIOR	UNO	UNO	UNLESS NOTED OTHERWISE
CIP	CAST IN PLACE	LAV	LAVATORY	ULF	ULF	UPPER LEVEL FLOOR
CL6	CEILING	LLF	LOWER LEVEL FLOOR	VTR	VTR	VENT THROUGH ROOF
CL	CENTER LINE	MLF	MAIN LEVEL FLOOR	VIF	VIF	VERIFY IN FIELD
CT	CERAMIC TILE	MFR	MANUFACTURER	VERT	VERT	VERTICAL
CLO	CLOSET	MO	MASONRY OPENING	VEST	VEST	VESTIBULE
COL	COLUMN	MATL	MATERIAL	VOL	VOL	VOLUME
CONC	CONCRETE	MAX	MAXIMUM	WC	WC	WATER CLOSET
CONT	CONTINUOUS	MCH	MECHANICAL	WR	WR	WATER RESISTANT
DR	DOWN	MDF	MEDIUM DENSITY FIBERBOARD	WDN	WDN	WINDOW
DNS(S)	DRAWING(S)	MTL	METAL	W	W	WITHOUT
EA	EACH	MIN	MINIMUM	WO	WO	WOOD
ELEC	ELECTRICAL	MIR	MIRRORED	2R2S	2R2S	CLOSETS-2 RODS 2 SHELVES
ELEV	ELEVATION	MISC	MISCELLANEOUS			
EQ	EQUAL	MR	MOISTURE RESISTANT			
ETS	EXPOSED TO STRUCTURE	NIC	NOT IN CONTRACT NUMBER			
EXT	EXISTING	NO	NO			
EX	EXTERIOR	TEL	TELEPHONE			
FOC	FACE OF CONCRETE	TEMP	TEMPERED			
		TPH	TOILET PAPER			

SHEET INDEX

ARCHITECTURAL

COVER	COVER SHEET
NOTES	GENERAL NOTES
A-1.0	AS-BUILT LOWER LEVEL PLAN / DEMO PLAN
A-1.1	LOWER LEVEL FLOOR PLAN-PROPOSED
A-2.0	AS-BUILT MAIN LEVEL PLAN / DEMO PLAN
A-2.1	MAIN LEVEL FLOOR PLAN-PROPOSED
A-3.0	AS-BUILT ROOF PLAN / DEMO PLAN
A-3.1	ROOF PLAN, SECTION, DECK DETAIL- PROPOSED
A-4.0	FRONT & SIDE ELEVATIONS - DEMO
A-4.1	FRONT & SIDE ELEVATIONS - PROPOSED
A-5.0	REAR ELEVATION DEMO & PROPOSED
AD-1	DETAILS
AD-2	DETAILS
AD-3	DETAILS

STRUCTURAL

UNDER SEPARATE COVER

ELECTRICAL

E-1 MAIN LEVEL ELECTRICAL PLAN

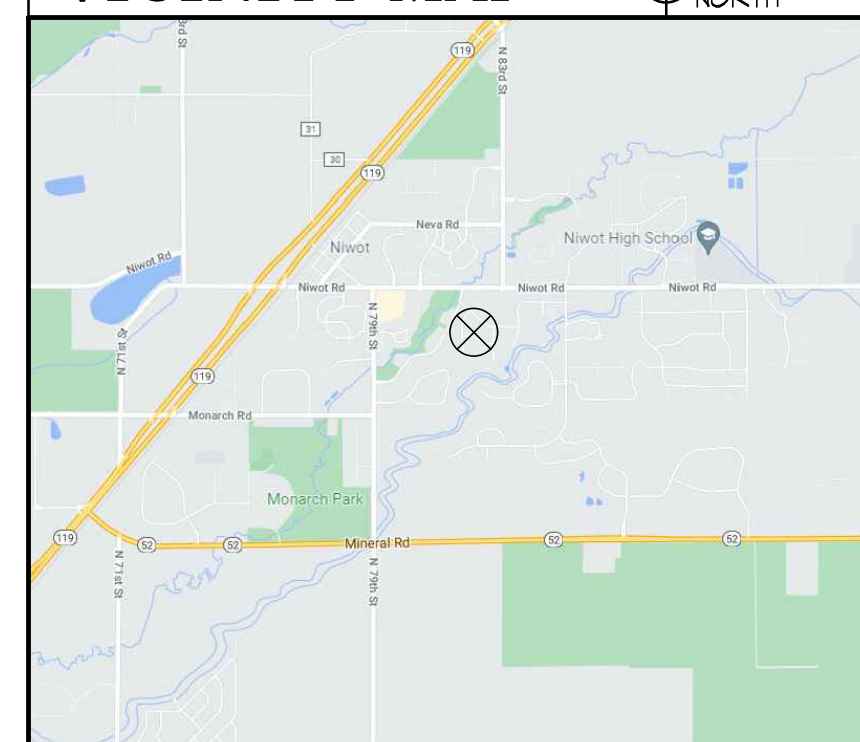
PROJECT TEAM

ARCHITECT:
 OSMOSIS ARCHITECTURE, INC.
 290 SECOND AVENUE
 PO BOX 1024
 NIWOT, CO 80544-1024
 PH: 303.652.2668
 FAX: 303.652.2717
 EMAIL: apostle@osmosisarchitecture.com

BUILDER:
 PORCHFRONT HOMES, INC
 102 2ND AVE
 NIWOT, CO 80544
 PH: 303.442.8453
 FAX:
 EMAIL:

STRUCTURAL ENGINEER:
 NAME
 ADDRESS
 PH:
 FAX:
 EMAIL:

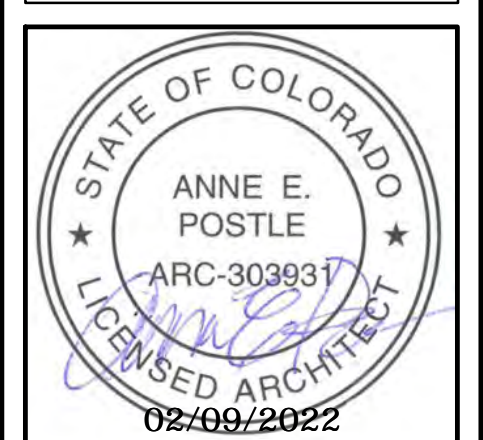
VICINITY MAP



SYMBOLS LEGEND

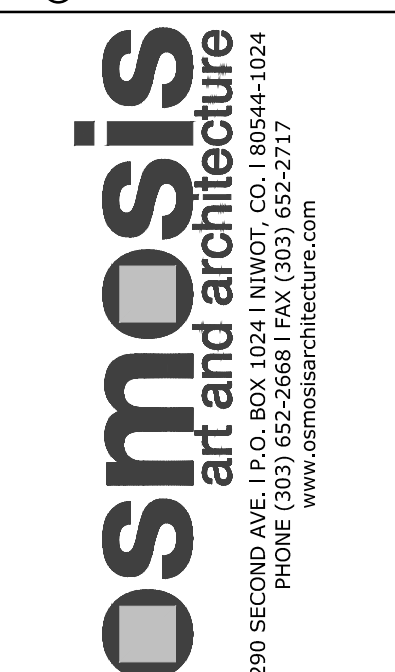
	BUILDING SECTION		DOOR/WINDOW ABBREVIATIONS:		HOSE BIBB (FREEZE PROOF)		CONCRETE
	DETAIL ENLARGEMENT		FR 2468 DOOR, PAIR 2'-4"x6'-8"		EARTH		STONE
	DRAWING TITLE / SCALE		3040 FX 3'-0"x4'-0", FIXED WINDOW		SAND OR GRAVEL FILL		STEEL
	FLOOR DRAIN		AN ANNING WINDOW		WOOD STUD PARTITION		DIMENSIONAL LUMBER
	FURNACE		CS CASEMENT WINDOW		3-2x4 WOOD POST OR 2-2x6 UNLESS NOTED OTHERWISE		BLOCKING
	INTERIOR ELEVATION		DGS DOUBLE CASEMENT WINDOW		BRICK		FINISH GRADE WOOD
	REVISION MARKER		DH DOUBLE HUNG WINDOW		RIGID INSULATION		PLYWOOD
	DETAIL/WALL SECTION MARKER		EGRESS EGRESS WINDOW		CONCRETE BLOCK		INSULATING SHEATHING
	WATER HEATER		FX FIXED WINDOW		BATT INSULATION		
			SH SINGLE HUNG WINDOW				
			SL SLIDER WINDOW				
			TEMP TEMPERED GLASS				
			TR TRANSOM WINDOW				

OWNERSHIP OF DOCUMENTS AND DESIGNS
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSIS ARCHITECTURE, INC. REMAIN OSMOSIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT WITHDRAW WRITTEN APPROVAL OF OSMOSIS ARCHITECTURE, INC. USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE: DATE:
 PERMIT 2/9/2022

CURRENT/REVISION ISSUE: DATE:
 2/9/2022 2/9/2022

NO.	REVISION TITLE:	DATE:

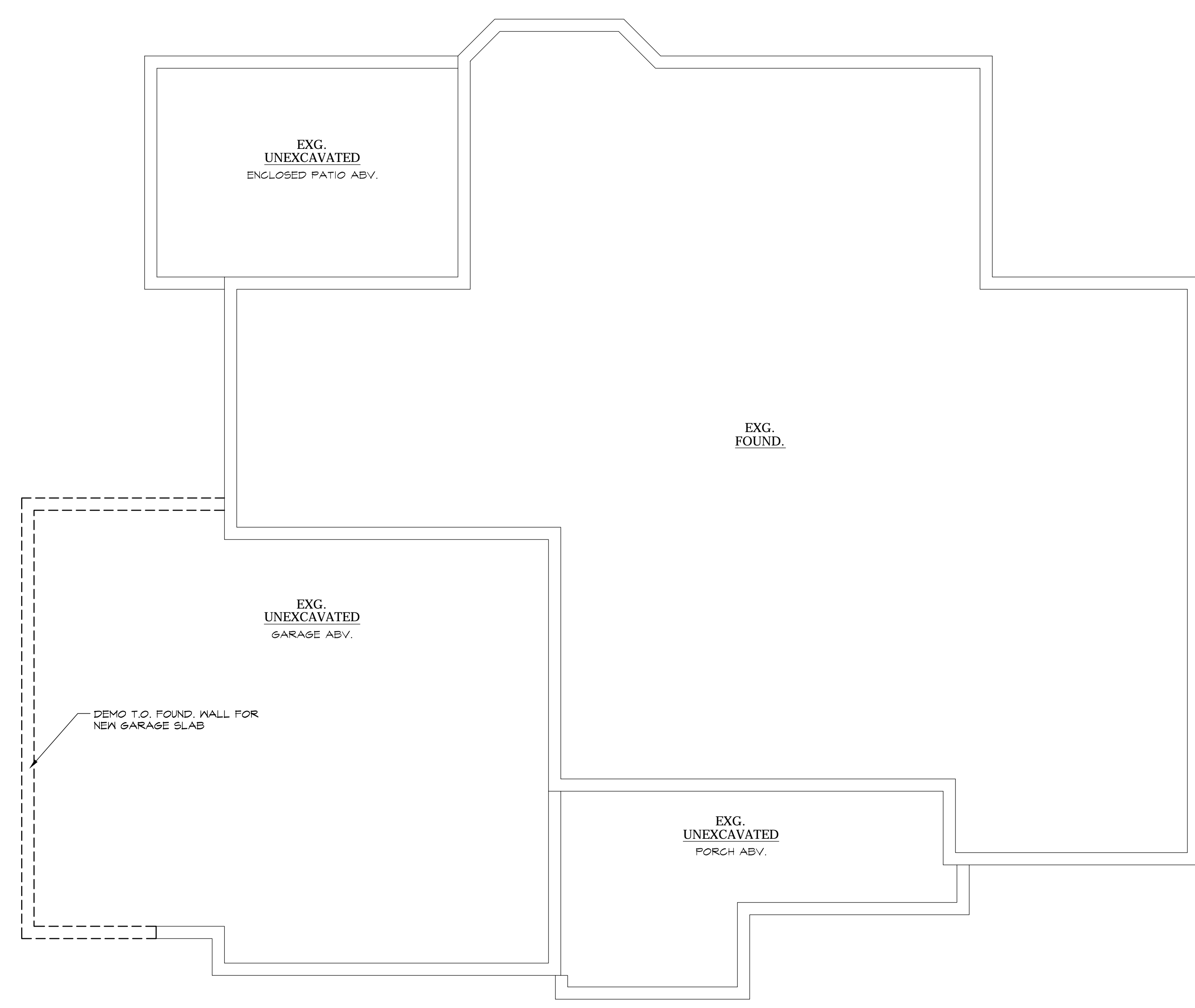
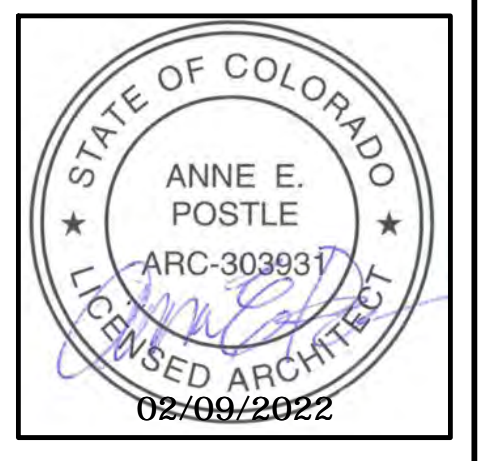
JOB #: 21028
 DRAWN: TJH/KMK
 CHECKED: AEP

COVER

- - - - DEMO
 _____ EXISTING TO REMAIN
 // // // // FILL IN OPENING

OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. REMAIN OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022

290 SECOND AVE. # P.O. BOX 1024 | NIWOT, CO. 80544-1024
 PHONE: 303-272-2177
 WWW.OSMOISISARCHITECTURE.COM

ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

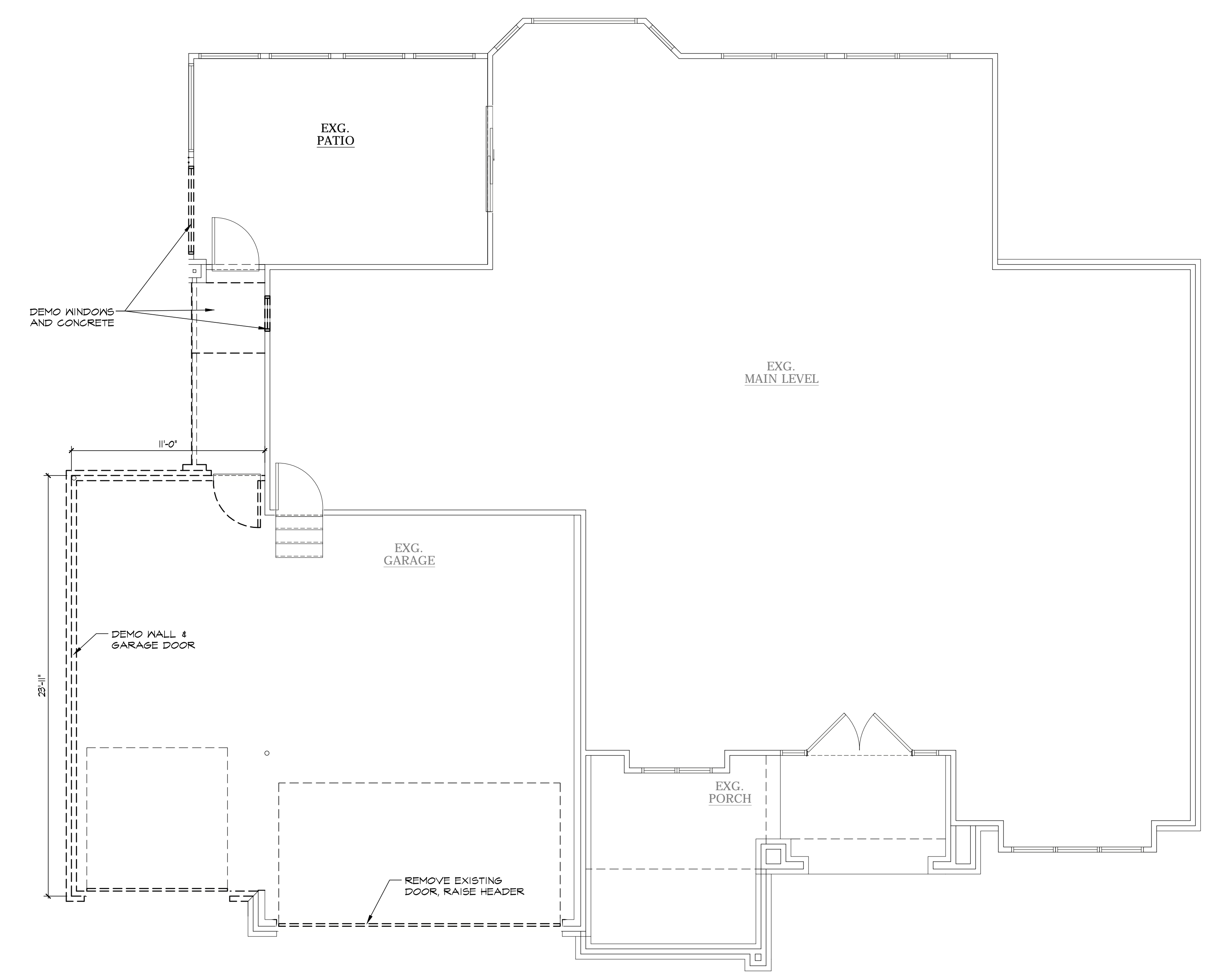
NO.	REVISION TITLE	DATE

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

1 DEMO FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

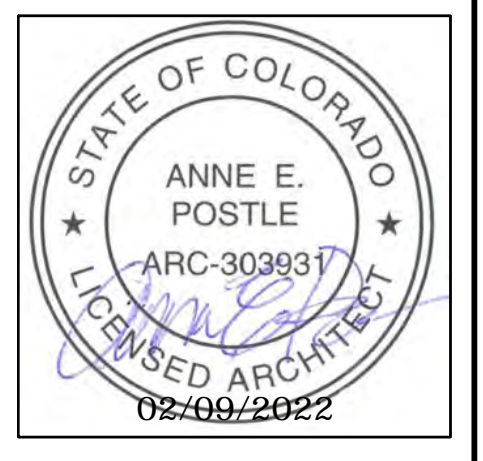
A-0.1

- - - - DEMO
 ———— EXISTING TO REMAIN
 // // // // FILL IN OPENING



1
A-0.2 DEMO MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. OR AN OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022
osmosis
 art and architecture
 290 SECOND AVE. # P.O. BOX 1024 NIWOT, CO. 80544-1024
 PH: 303-225-2177
 WWW.OSMOISISARCHITECTURE.COM

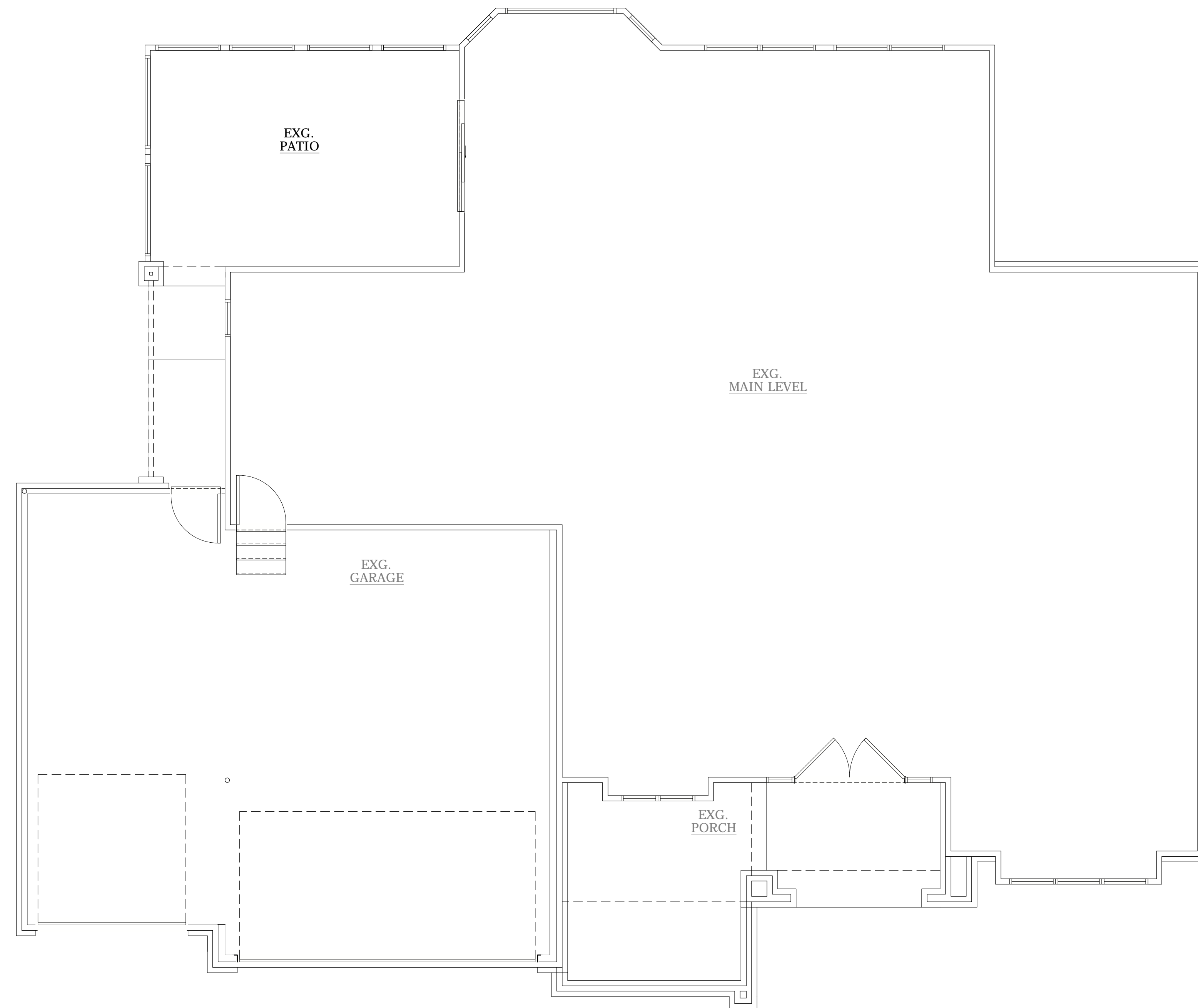
ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

NO.	REVISION TITLE	DATE

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

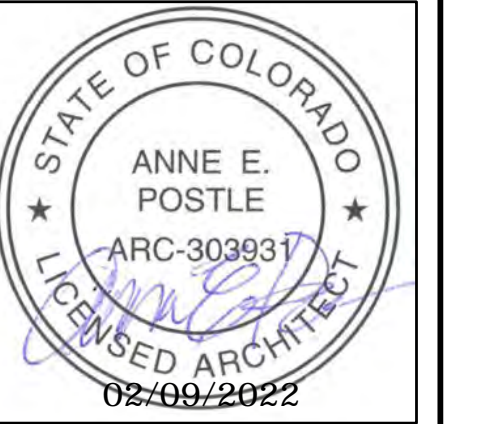
A-0.2



AS-BUILT MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

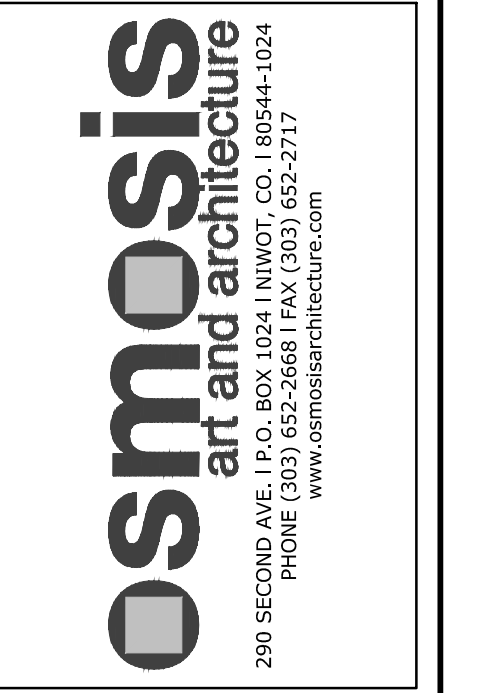
OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOsis ARCHITECTURE, INC. OR ANA CROSS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOsis ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE AUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

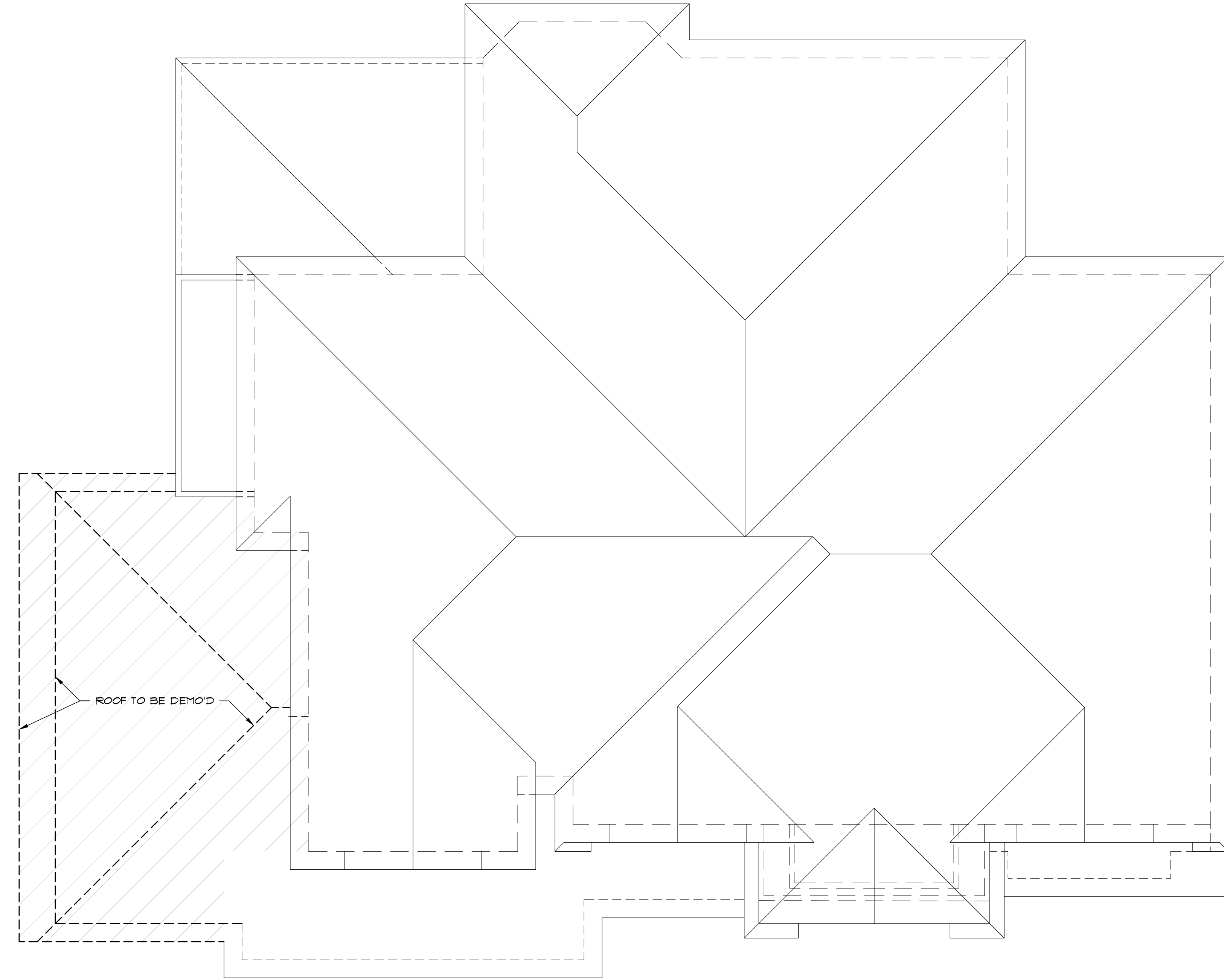
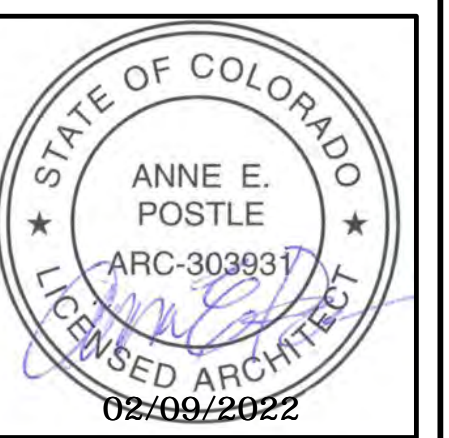
NO.	REVISION TITLE:	DATE:

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

A-0.2A

- - - - DEMO
 _____ EXISTING TO REMAIN
 // // // // FILL IN OPENING

OWNERSHIP OF DOCUMENTS AND DESIGNS: ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOISIS ARCHITECTURE, INC. REMAIN OSMOISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMOISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



ROOF TO BE DEMO

HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022



ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

NO.	REVISION TITLE	DATE

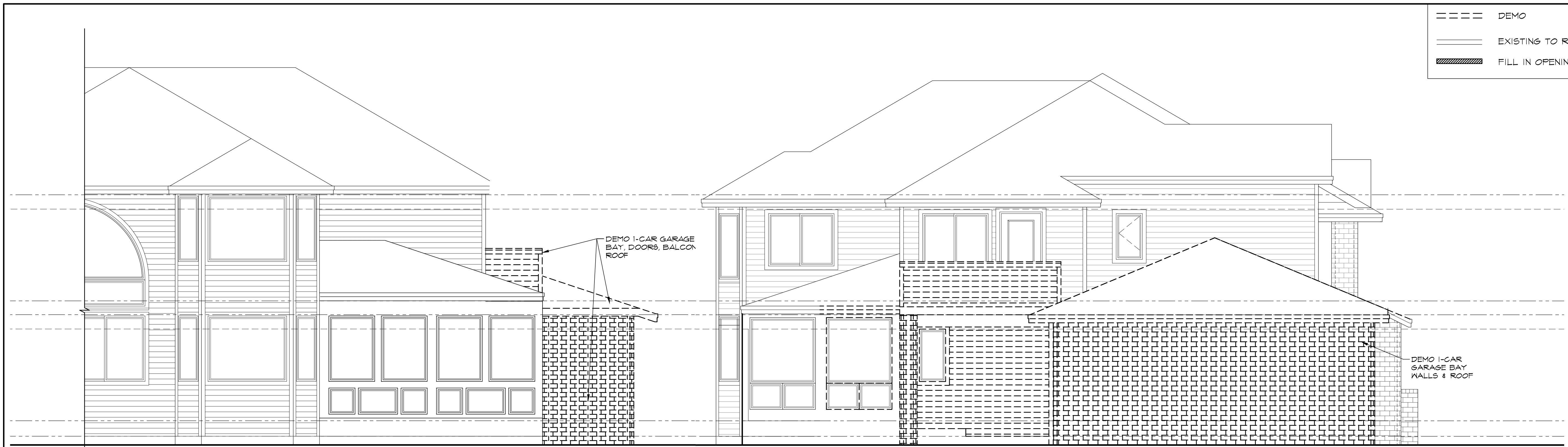
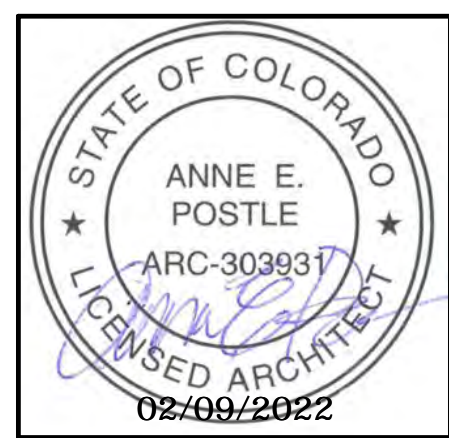
JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

A-03
DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"

A-0.3

- - - - DEMO
 ———— EXISTING TO REMAIN
 ▨▨▨▨ FILL IN OPENING

OWNERSHIP OF DOCUMENTS AND DESIGNS: ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SURE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



3
DEMOS REAR ELEVATION
SCALE: 1/4" = 1'-0"

2
DEMOS LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1
DEMOS FRONT ELEVATION
SCALE: 1/4" = 1'-0"

HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022
osmosis
 art and architecture

 290 SECOND AVE. # P.O. BOX 1024 | NIWOT, CO. 80544-1024
 PHONE: 303-225-2177
 WWW.OSMOSISARCHITECTURE.COM

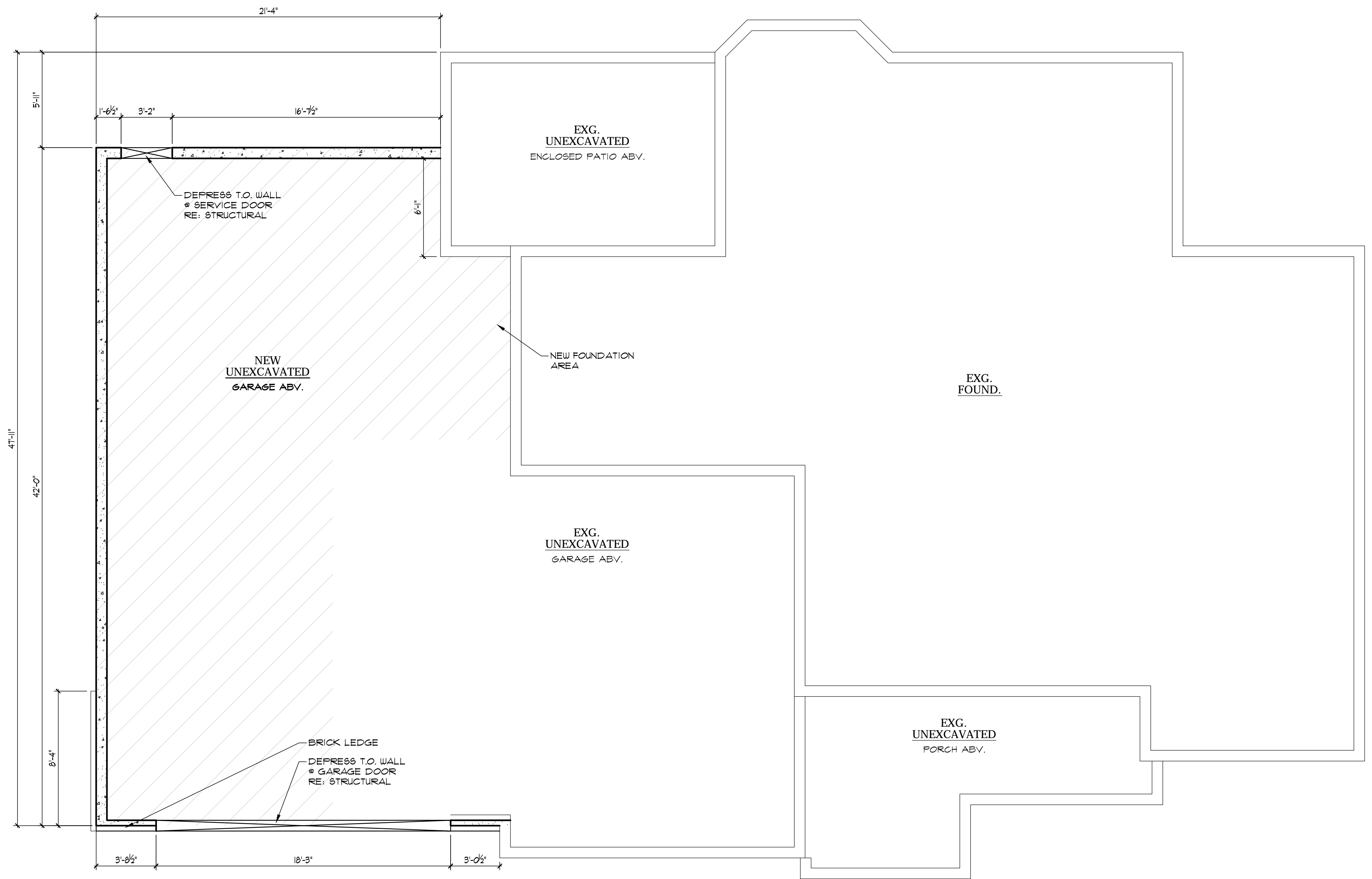
ORIGINAL ISSUE: _____ DATE: _____
 PERMIT: _____ 2/9/2022

CURRENT/REVISION ISSUE: _____ DATE: _____
 2/9/2022 2/9/2022

NO.	REVISION TITLE	DATE

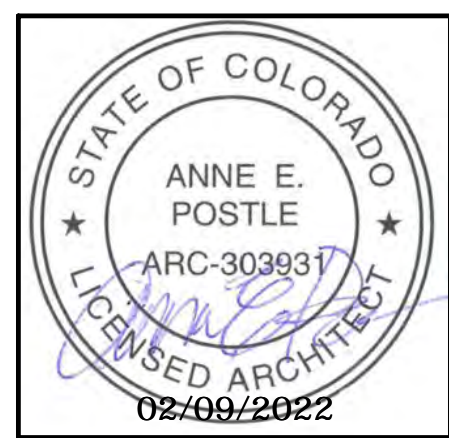
JOB #: 21028
 DRAWN: TJH/KMK
 CHECKED: AEP

A-0.4



- LOWER LEVEL NOTES:**
1. THE LOWER LEVEL BASEMENT PLAN IS NOT CONSIDERED AS LIVING AREA (FINISHED BASEMENT PLANS ACCEPTED).
 2. GENERALLY ACCEPTED PRECAUTIONS FOR SLAB-ON-GRADE CONSTRUCTION WILL BE PROVIDED. THE LOWER LEVEL WINDOWS CONSTITUTE 8% LIGHT.
 3. ESCAPE WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 S.F., MIN. HT. OF 24" & 20" MIN. WIDTH. FIN. SILL HT. SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. IF THE SILL HT IS BELOW THE ADJOINING FIN. GRADE, A WINDOW WELL MUST BE PROVIDED. THE WINDOW WELL MUST ALLOW FULL OPERABLE OF THE WINDOW HAVE A MIN. CLEAR AREA OF 9 S.F. & A MIN. CLEAR DIM. OF 36". IF THE WINDOW WELL IS OVER 44" DEEP, A PERM. STAIR OR LADDER MUST BE PROVIDED WHICH ALLOWS FULL OPERABLE OF WINDOW OR DOES NOT ENCROACH MORE THAN 6" INTO THE CLEAR AREA. PER CODE.
 4. FOOTINGS & FOUNDATIONS SHALL EXTEND BELOW FROST LINE (36"). FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE THE ADJACENT FINISHED GRADE. PER CODE.
 5. CRAWL SPACES MUST BE INSULATED W/INSULATION PER ENERGY CODE, AND CANTILEVERED FLOORS EXPOSED TO THE EXTERIOR MUST BE INSULATED PER CURRENT ENERGY CODE.
 6. STRUCTURAL WOOD UNDER-FLOOR AREAS MUST BE VENTILATED WITH A MECHANICAL VENTILATION SYSTEM CAPABLE OF EXHAUSTING A MIN. OF 5 AIR CHANGES PER HOUR. THE VENTILATION SYSTEM SHALL BE CONTROLLED BY AN APPROVED HUMIDISTAT. MAKEUP AIR SHALL BE PROVIDED IN THE SAME AMOUNT AS EXHAUSTED. AN APPROVED 10 MIL. MINIMUM GROUND VAPOR BARRIER (SEALED AT CRAWL WALLS, JOINTS AND OPENINGS) INSTALLED OVER GROUND UNDER STRUCTURAL BASEMENT FLOOR AND IN CRAWL SPACES.
 7. PROVIDE 1 S.F. per 150 S.F. CRAWL SPACE VENTILATION. LOCATE OPENINGS AS CLOSE TO CORNERS AS POSSIBLE TO PROVIDE CROSS VENTILATION. DISTRIBUTE OPENINGS ALONG THE LENGTH OF TWO OPPOSITE SIDES. COVER OPENINGS W/ CORROSION RESISTANT WIRE W/ MESH OPENINGS OF 1/4" IN DIM.
 8. PROVIDE MIN OF 18" CLEARANCE FROM UNDERSIDE OF JOISTS TO EARTH. PROVIDE MIN OF 12" CLEARANCE FROM UNDERSIDE OF BEAM TO EARTH.
 9. PER CODE GLAZING NEED NOT BE OPERABLE WHEN WHOLE HOUSE MECH VENT SYSTEM PROVIDES VENTILATED AIR AT A FLOW OF 15 cfm AND ARTIFICIAL LIGHTING IS CAPABLE OF PROVIDING 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" AFF.
 10. FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2-IN. GYPSUM WALLBOARD MEMBRANE, 5/8-IN. WOOD STRUCTURAL PANEL MEMBRANE, OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. SEE CODE FOR EXCEPTIONS.

OWNERSHIP OF DOCUMENTS AND DESIGNS:
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMAISIS ARCHITECTURE, INC. REMAIN OSMAISIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT PRIOR WRITTEN APPROVAL OF OSMAISIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION:
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

© osmosis architecture 2022

osmosis
 art and architecture

290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
 PHONE: 303-225-2171
 WWW.OSMOISARCHITECTURE.COM

ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

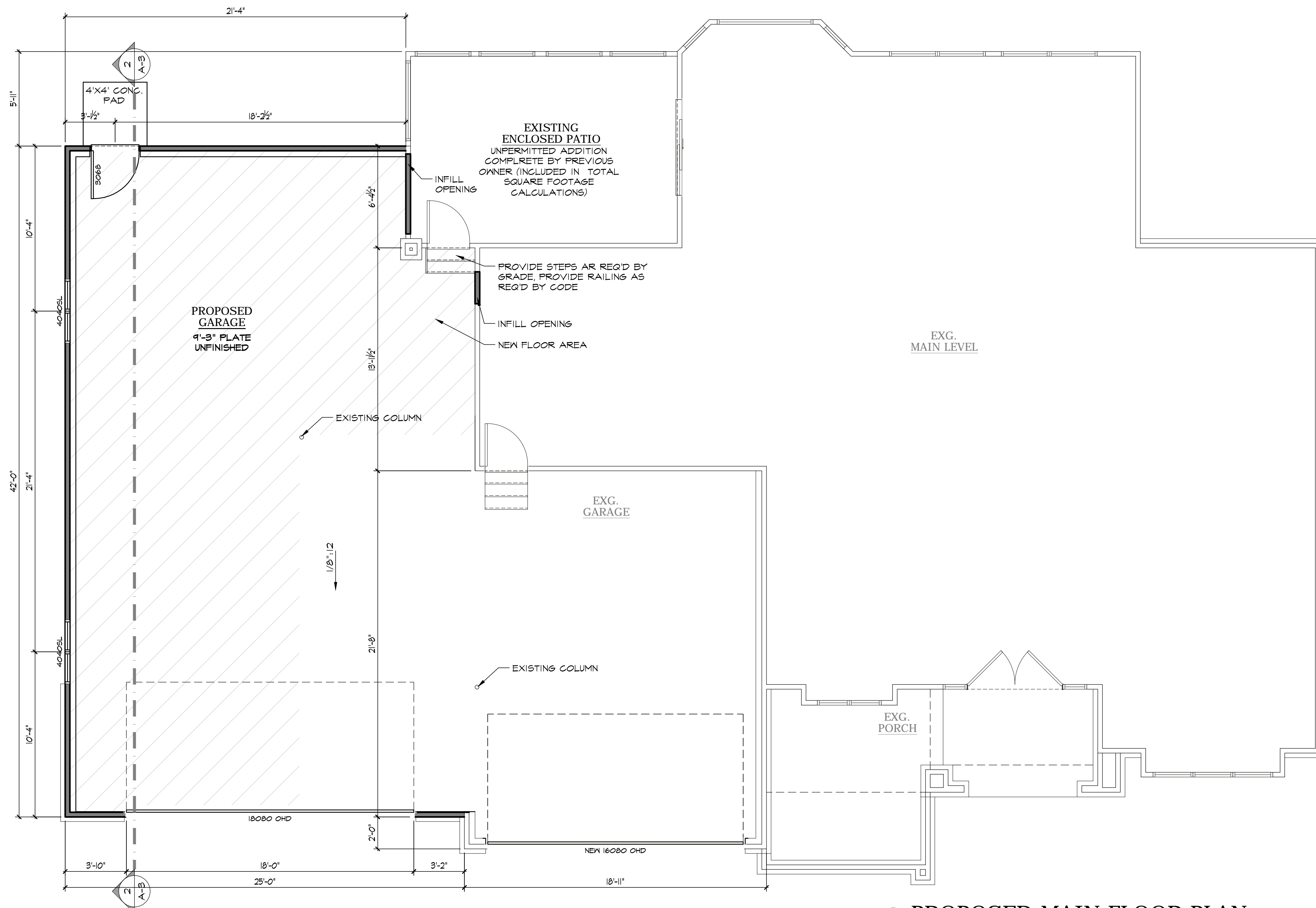
CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

NO.	REVISION TITLE:	DATE:

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

PROPOSED FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

A-1.0

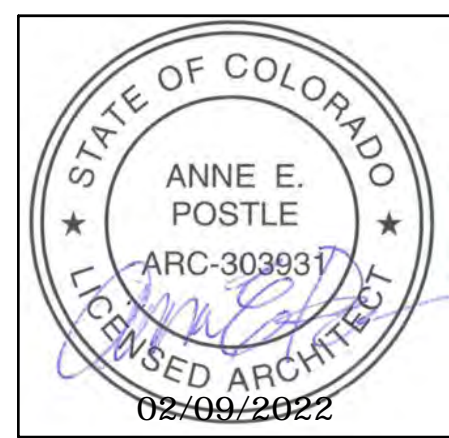


1
A-2.0
PROPOSED MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

PLAN NOTES:

1. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. SUCH BARRIER SHALL BE EQUAL TO THAT PROVIDED FOR WATERPROOF BUILDING PAPER OR ASPHALT-SATURATED FELT. IRC R703.1.2
2. FIRE BLOCKS ARE REQUIRED WITHIN STUD WALLS AT 10' INTERVALS AND AT THE FLOOR AND CEILING. FIRE BLOCKS ARE ALSO REQ'D AT FLOOR AND CEILING PENETRATIONS AROUND VENTS, PIPES, DUCTS, ETC. THE INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES (SOFFITS) BETWEEN STAIR STRINGERS, AND IN THE OPENINGS BETWEEN CHIMNEY CHASES AND ATTIC SPACES MUST BE FIRE STOPPED. FIRE BLOCKS MUST BE PROVIDED WITHIN UNFILLED SLEEPER-TYPE FLOOR SYSTEMS SO THAT NO AREA EXCEEDS 100 S.F. IRC 602.8. FIRE BLOCK MATERIAL MAY BE 2" NOMINAL LUMBER, GYP. BOARD, ETC., SECURELY FASTENED IN PLACE. LOOSE INSULATION IS NOT ACCEPTABLE. IRC 602.8
3. LANDINGS ARE REQ'D ON BOTH SIDES OF EXTERIOR DOORS (MIN. 36" X 36"), INCLUDING THE OPERABLE SIDE OF SLIDING DOORS. THE LANDINGS MAY BE NO MORE THAN 7 3/4" BELOW THE THRESHOLD OF THE DOOR AS LONG AS THE DOOR DOES NOT SWING OVER THE LANDING. IRC R811.3.
4. DRYER VENT SHALL BE EXTENDED TO EXTERIOR WEATHER HOOD. DRYER DUCTS SHALL BE 4" MINIMUM DIAMETER, 35' IN LENGTH MAXIMUM (THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED 2.5' FOR EACH 45 DEGREE BEND AND 5' FOR EACH 90 DEGREE BEND. PER MIB02.4.5
5. FIREPLACES ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. A COPY OF THESE INSTRUCTIONS MUST BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION AND THE MANUFACTURER MODEL AND LISTING NUMBER MUST BE SUBMITTED TO THE PERMIT FILE. ONLY FIREPLACE AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.
6. SHOWERS AND TUB-SHOWER COMBOS MUST BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. HANDLE POSITION STOPS ARE REQ'D AND MUST BE ADJUSTED PER THE MFG'S INSTRUCTIONS TO DELIVER A MAX MIXED WATER SETTING OF 120 DEGREES F. THE WATER HEATER THERMOSTAT IS NOT CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION. SECTION 410.7, UPC.
7. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH OPENS DIRECTLY INTO A YARD OR PUBLIC WAY. THE DOOR OR WINDOW SHALL BE OPERABLE FROM INSIDE TO PROVIDE A FULL CLEAR OPENING W/O USE OF SEPARATE TOOLS. ESCAPE WINDOWS SHALL HAVE A MIN. NET CLEAR OPERABLE AREA OF 5.7 SQ. FT., A MIN. HT. OF 24" AND MIN. WIDTH OF 20". FINISHED SILL HT. SHALL NOT BE MORE THAN 44" TO BOTTOM OF CLEAR OPENING. EGRESS WINDOWS AT MAIN LEVEL IS ALLOWED TO BE 5 SQ.FT. WITH 20" MINIMUM WIDTH AND 24" MINIMUM HEIGHT.
8. FRAMING MEMBERS CARRYING CEILING WITH WATER RESISTANT GYP. BD. SHALL BE A MAX OF 12" ON CENTER.
9. ALL ANGLES OTHER THAN RIGHT ANGLES ARE 45 DEGREES UNLESS NOTED OTHERWISE.
10. ALL EXTERIOR WALL ARE 2X6 & INTERIOR WALLS ARE 2X4 UNLESS NOTED OTHERWISE.

OWNERSHIP OF DOCUMENTS AND DESIGNS:
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
DATE OF COOPERATION:
RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503



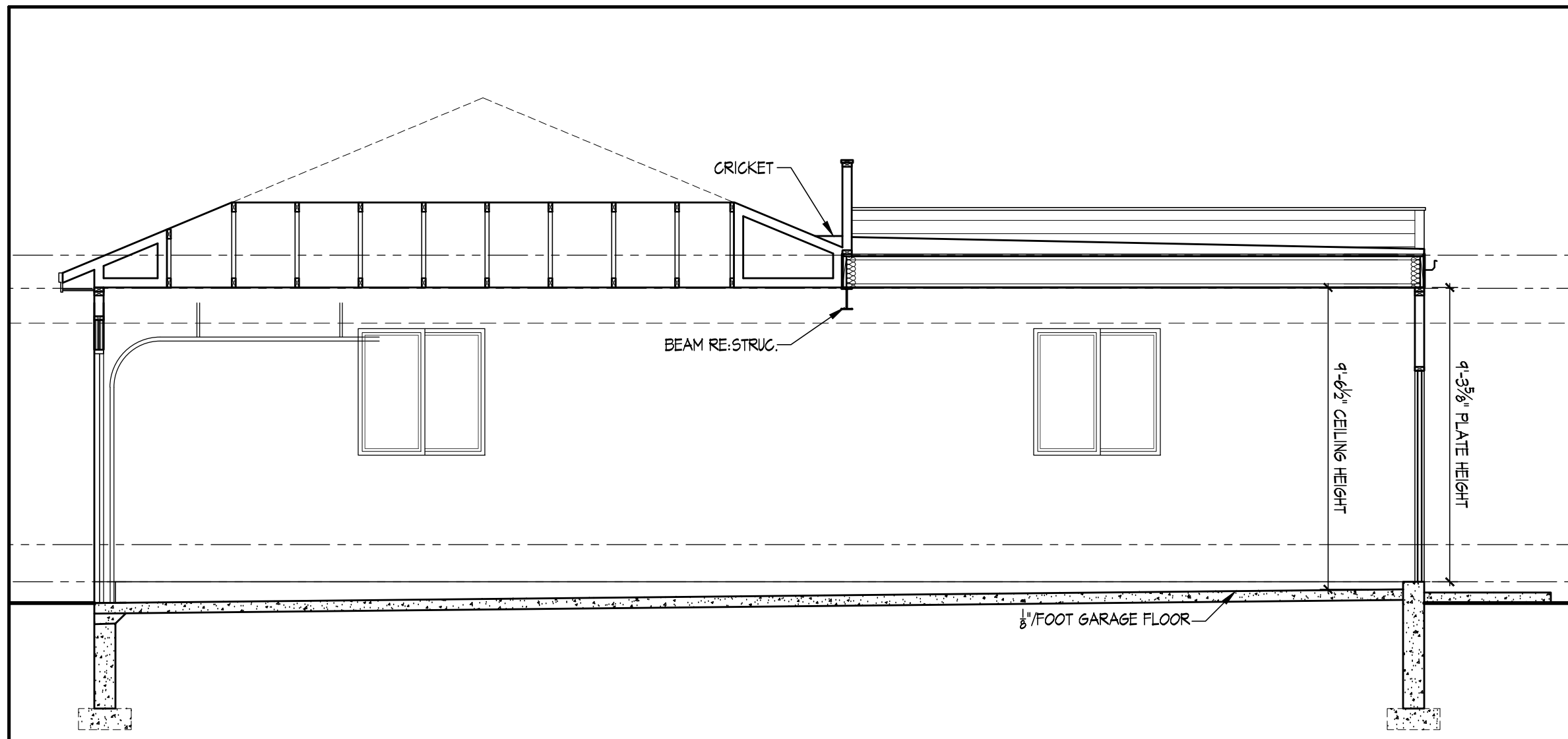
ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

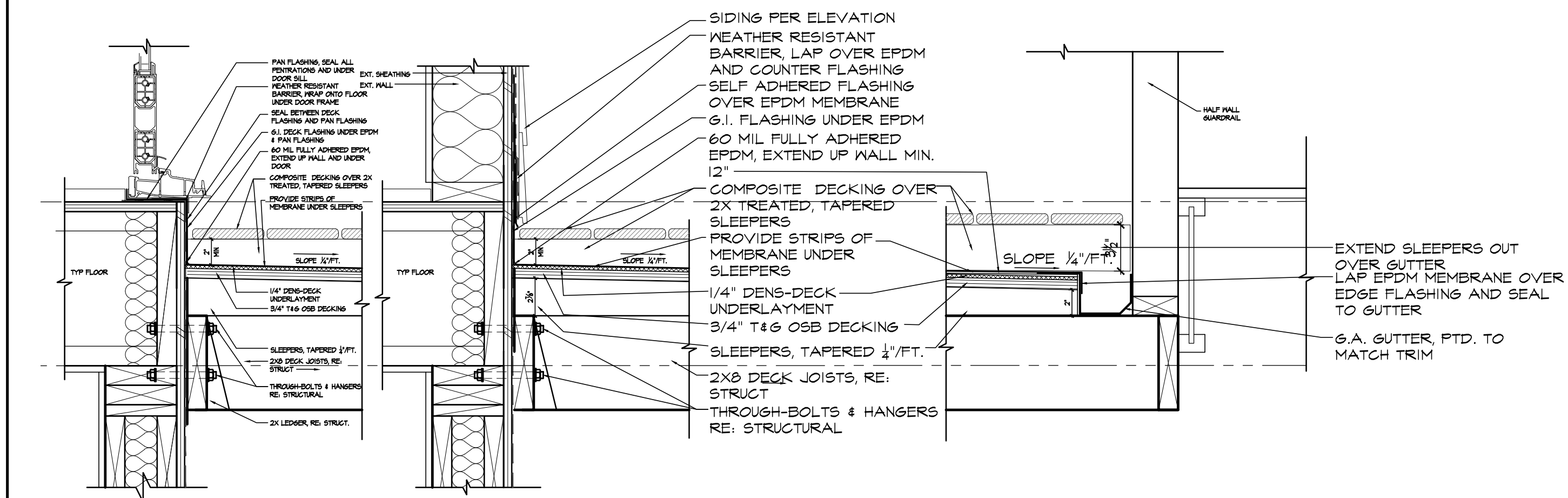
NO.	REVISION TITLE:	DATE:

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

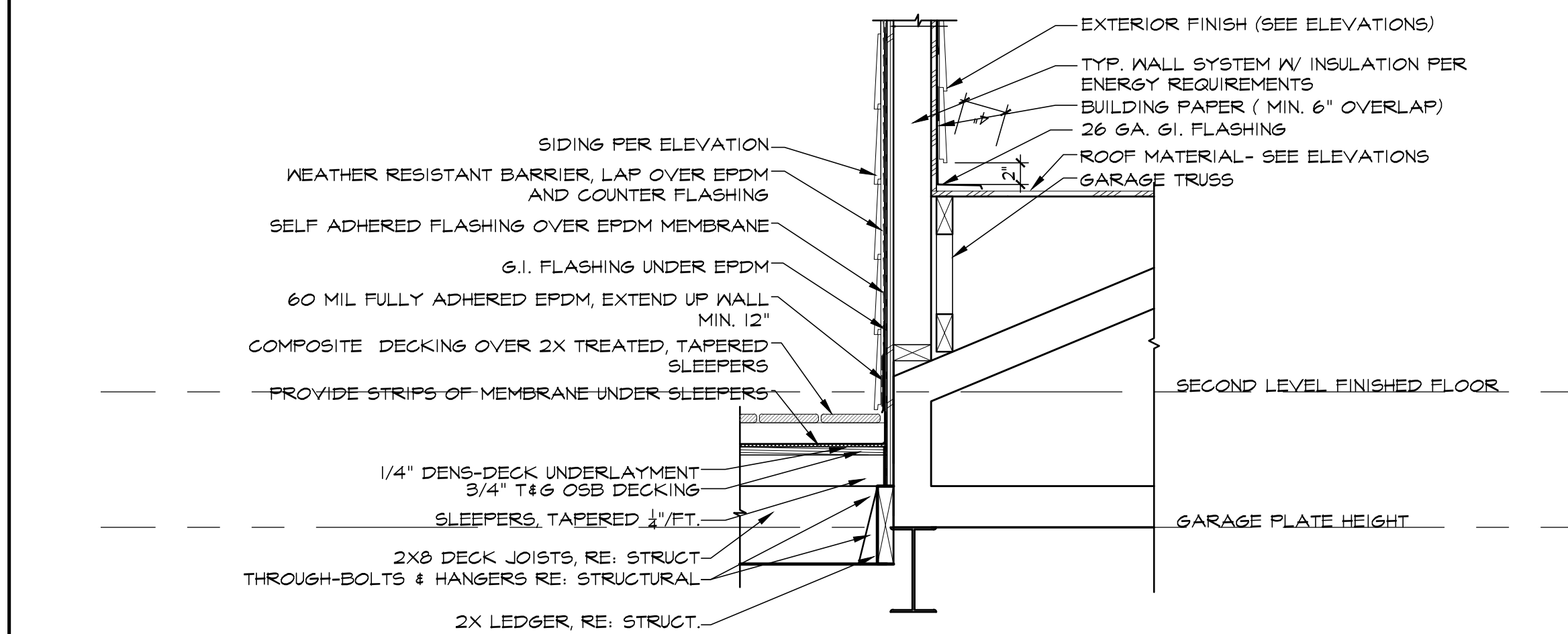
A-2.0



2 SECTION A-A
SCALE: 1/4" = 1'-0"



3 DECK DETAIL
SCALE: 1/2" = 1'-0"



4 DECK WALL DETAIL
SCALE: 1" = 1'-0"

REQUIRED ROOF VENT CALCULATION

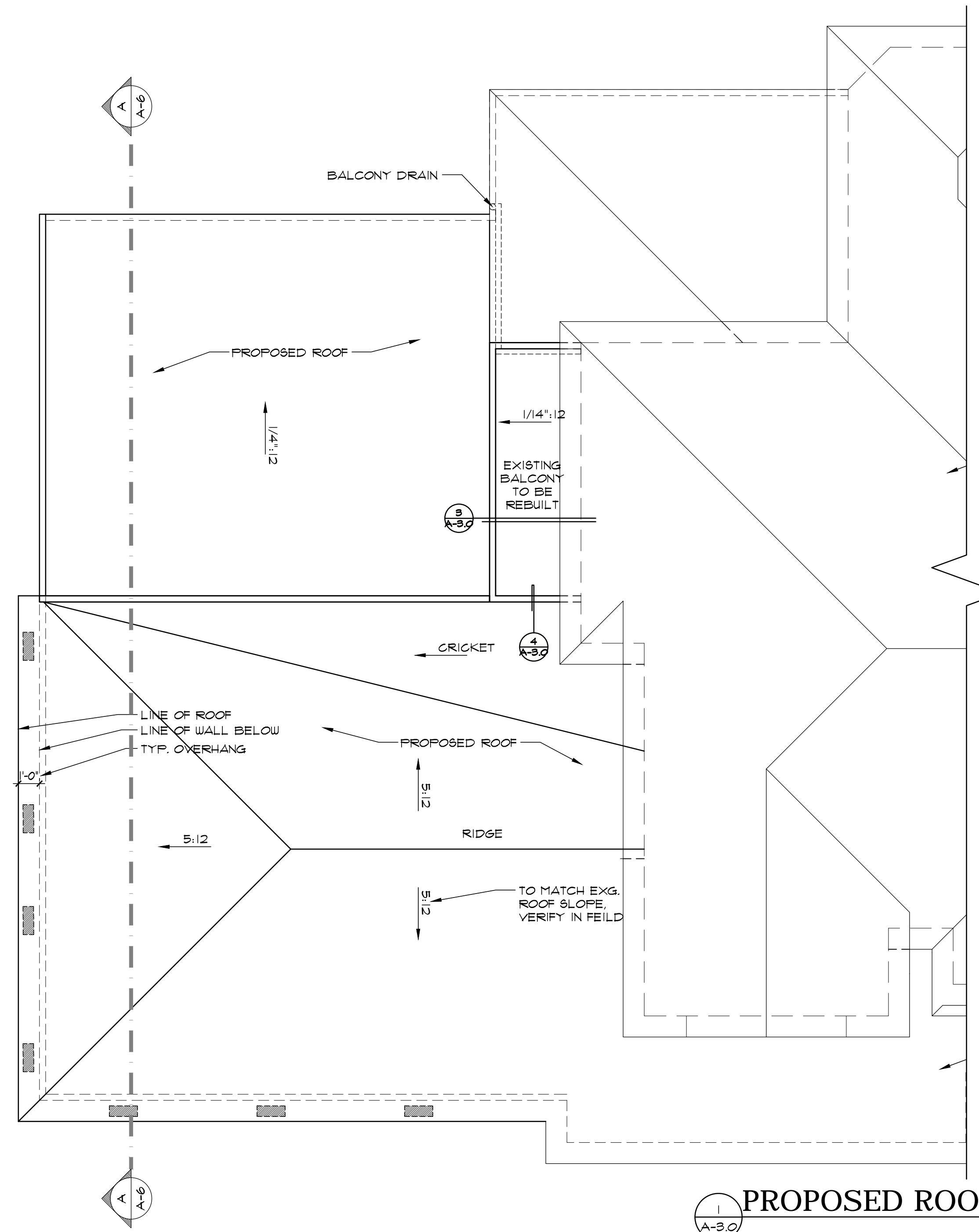
ELEVATION	AREA TO VENT	VENTING RATIO	REQUIRED VENTING	EXHAUST (HIGH ROOF) VENTS REQUIRED (> 40% NOT TO EXCEED 50%)				INTAKE (LOW ROOF) VENTS REQUIRED (50%-60%)				CHECK	
				NET FREE AREA PER VENT	# OF VENTS @ > 40%	# OF VENTS @ < 50%	# OF RIDGE VENTS	REMAINING NFA REQ'D IN LOW ROOF	NET FREE AREA PER VENT	# OF VENTS @ REMAINING %	# OF LOW ROOF VENTS	TOTAL VENTING PROVIDED (> required)	% VENTING PROVIDED IN RIDGE (> 40 - < 50)
GARAGE ROOF AREA	1039	150	997 SQ. IN.	50.0	7.98	9.97	9	547.4	42	13.03	13	996	45.18

PER IRC, CHAPTER 8, SECTION R806.2, MINIMUM AREA

** ROOF PLAN SHOWS SOFFIT VENTS AND "TURTLE" ROOF VENTING. SEE ROOF NOTES FOR ASSUMED PRODUCTS USED FOR VENTING PURPOSES. IF DIFFERENT PRODUCTS ARE USED IT WILL BE THE BUILDER'S RESPONSIBILITY TO CORRECTLY CHOOSE PRODUCTS TO PROPERLY VENTILATE THE ROOF. BUILDER SHALL VERIFY NUMBER OF VENTS PROVIDED AND ADJUST # OF RIDGE VENTS AS NEEDED FOR CODE. NOTE, WHERE EXHAUST VENTILATION WOULD EXCEED 50%, ALTERNATIVE PRODUCTS MUST BE USED TO MINIMIZE EXHAUST RATES, PRODUCT SELECTION BY BUILDER

ROOF NOTES:

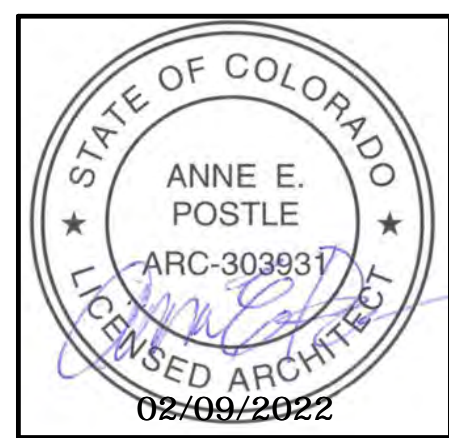
- DRAFTSTOP AS REQUIRED.
 - PROVIDE MIN. 22"x30" ATTIC ACCESS WHERE INDICATED ON PLANS.
 - PROVIDE HIP AND FLASHING PER MFG RECOMMENDATIONS.
 - REFER TO STRUCTURAL ENGINEERING DRAWINGS FOR ALL ROOF FRAMING AND OTHER PERTINENT INFORMATION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL INFORMATION CONTAINED WITHIN THE DRAWINGS PRIOR TO CONSTRUCTION.
 - IF CONTINUOUS SOFFIT VENTS ARE PROVIDED AT ALL EAVES, ASSUMED NET FREE AREA = 5 SQ. IN. / LINEAR FOOT. SEE ROOF PLANS FOR PRODUCTS.
 - PROVIDE 5" GUTTERS, DOWNSPOUTS AND SPLASH BLOCKS IN A LOCATION TO PROVIDE POSITIVE ROOF & SITE DRAINAGE.
 - X6 = DOWNSPOUTS TO GROUND
 - XR = DOWNSPOUTS TO ROOF BELOW
- ARROW INDICATING DIRECTION OF SLOPE AND ROOF PITCH
- RVAL-50/RVGL-50 OR RV6-55 ROOF LOUVER BY AIRVENT
 - PROVIDES 50 SQ. INCHES OF NET FREE AREA PER LOUVER
 - 3:12 TO 12:12 ROOF PITCH
 - 16 X 6 ROOF LOUVER BY AIRVENT, OR EQ.
 - PROVIDES 42 SQ. INCHES OF NET FREE AREA PER LOUVER
- ROOF VENTILATION CODE:
PER 2015 INTERNATIONAL CODE, CHAPTER 8, SECTION R806.2, MINIMUM AREA
- THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT THE TOTAL AREA IS PERMITTED TO BE REDUCED TO 1 TO 300, PROVIDED NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED WITHIN 3 FEET OF THE RIDGE OR HIGHEST POINT OF SPACE WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE.



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGN: ALL ARCHITECTURAL DOCUMENTS AND DESIGN DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGN PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND HIS CONSULTANTS. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

osmosis art and architecture
290 SECOND AVE. # P.O. BOX 1024 NIWOT, CO. 80544-1024
PHONE: 303-252-1717
WWW.OSMOSISARCHITECTURE.COM

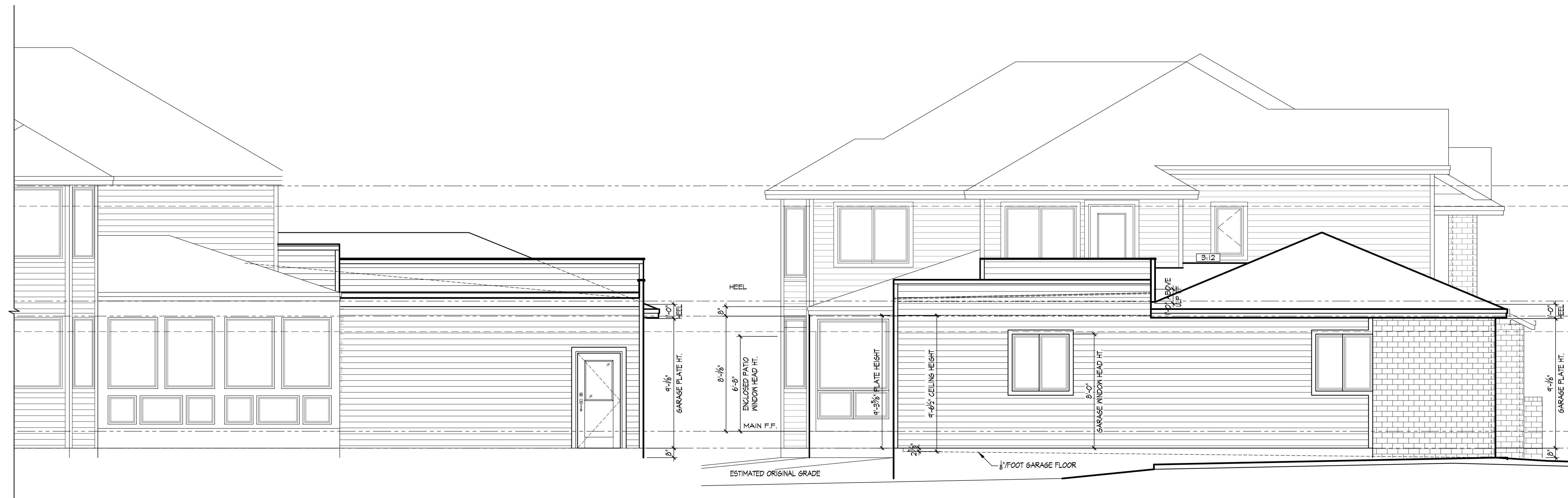
ORIGINAL ISSUE: DATE: _____
PERMIT: 2/9/2022

CURRENT/REVISION ISSUE: DATE: 2/9/2022

NO.	REVISION TITLE:	DATE:

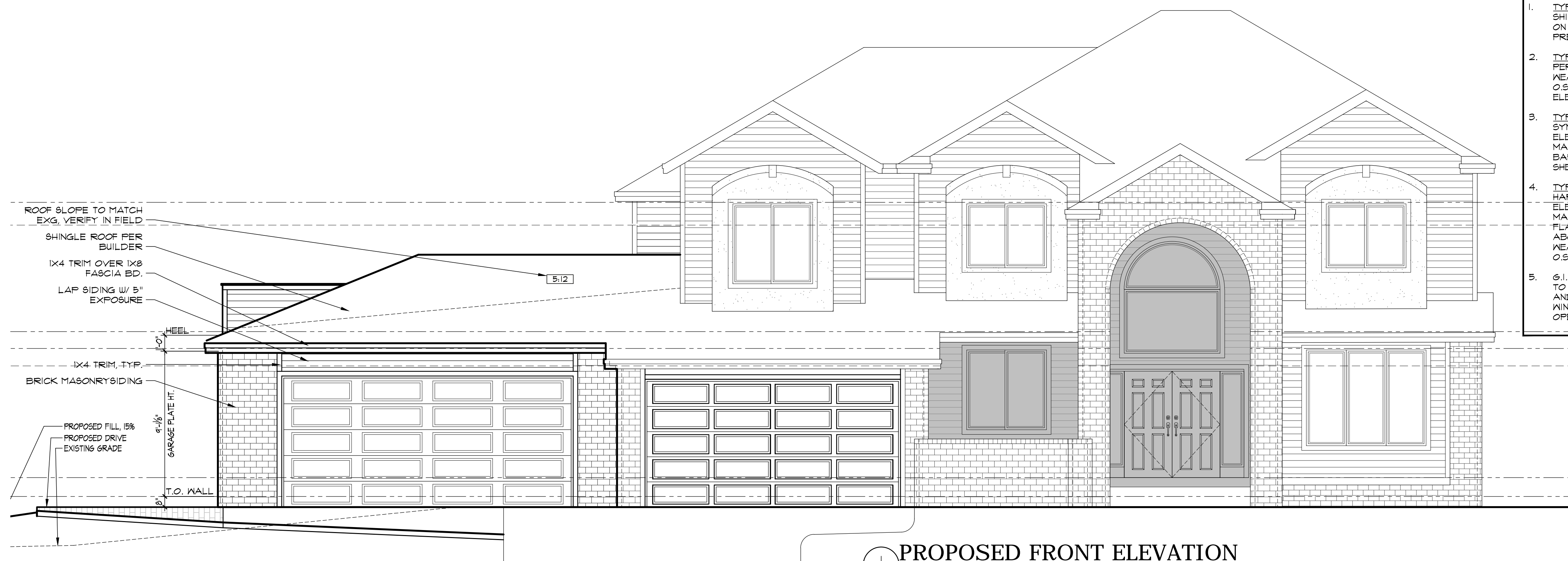
JOB #: 21028
DRAWN: TJH/KMK
CHECKED: AEP

A-3.0



3
A-4.0 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

2
A-4.0 PROPOSED LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1
A-4.0 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES:

1. TYPICAL ROOF - COMPOSITION SHINGLE ROOFING MATERIAL ON 7/16" ROOF SHEATHING ON PRE-FAB. ROOF TRUSSES
2. TYPICAL SIDING - LAP SIDING PER ELEVATIONS OVER WEATHER BARRIER OVER 7/16" O.S.B. SHEATHING, SEE ELEVATIONS FOR EXPOSURE.
3. TYPICAL STONE VENEER - SYNTHETIC STONE VENEER PER ELEVATIONS, INSTALL PER MANUF. SPECS., OVER WEATHER BARRIER OVER 7/16" O.S.B. SHEATHING
4. TYPICAL STUCCO - HARDCOAT STUCCO PER ELEVATIONS, INSTALL PER MANUF. SPECS., PROVIDE FLASHING AT ALL TRIM PIECES ABOVE AND BELOW, OVER WEATHER BARRIER OVER 7/16" O.S.B. SHEATHING
5. S.I. FLASHING AT ALL ROOF TO WALL LOCATIONS, SADDLE AND CRICKET LOCATIONS, AND WINDOW AND DOOR HEAD OPENINGS - TYP.

OWNERSHIP OF DOCUMENTS AND DESIGNS:
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSOMOSIS ARCHITECTURE, INC. REMAIN OSOMOSIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSOMOSIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION:
RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A PARTY IN NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

© osmosis architecture 2022



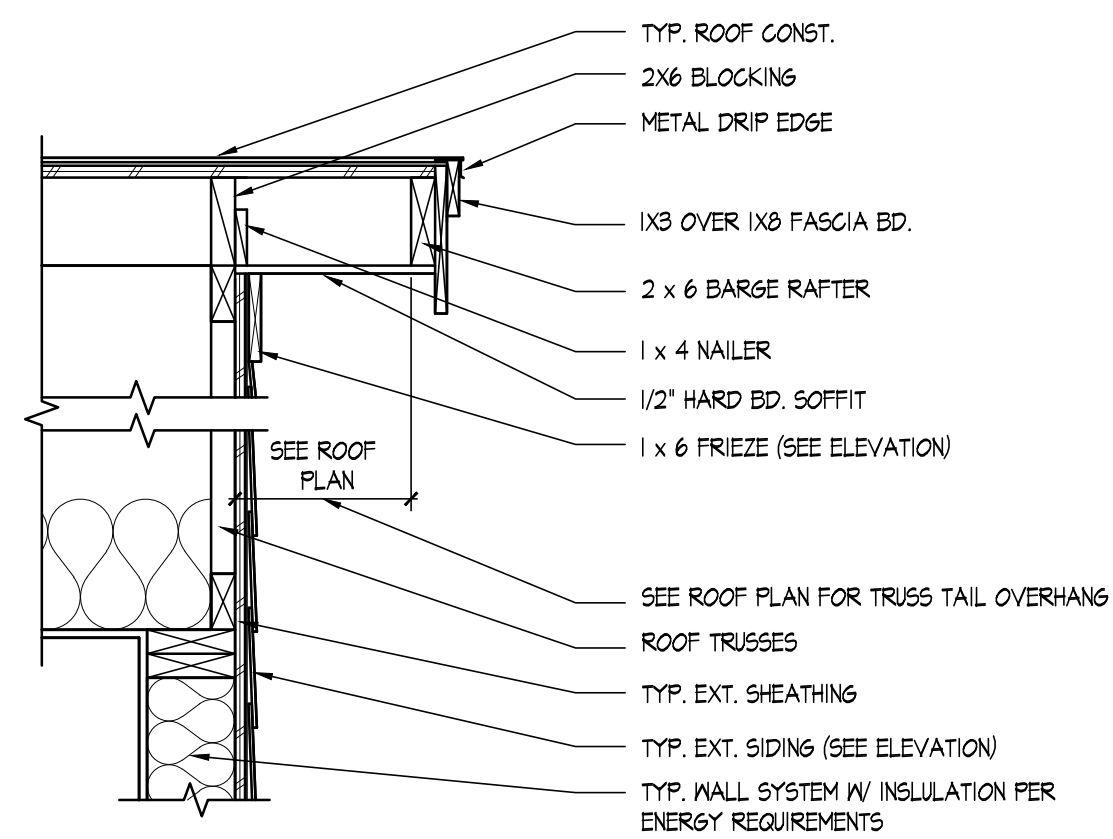
ORIGINAL ISSUE: DATE:
PERMIT: 2/9/2022

CURRENT/REVISION ISSUE: DATE:
2/9/2022 2/9/2022

NO.	REVISION TITLE	DATE

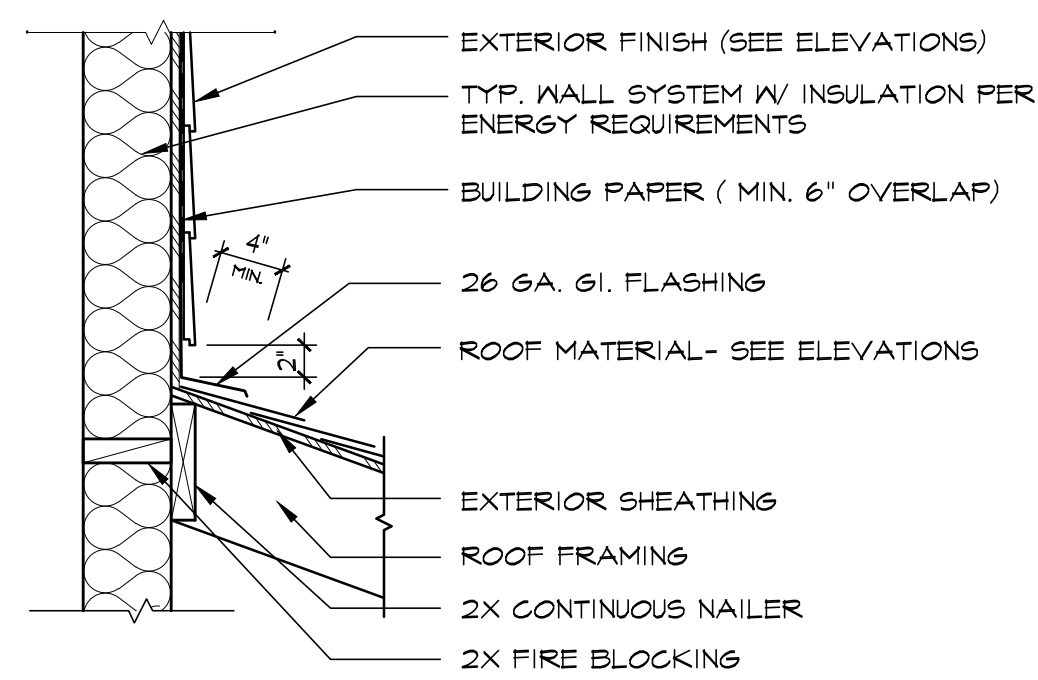
JOB #: 21028
DRAWN: TJH/KMK
CHECKED: AEP

A-4.0

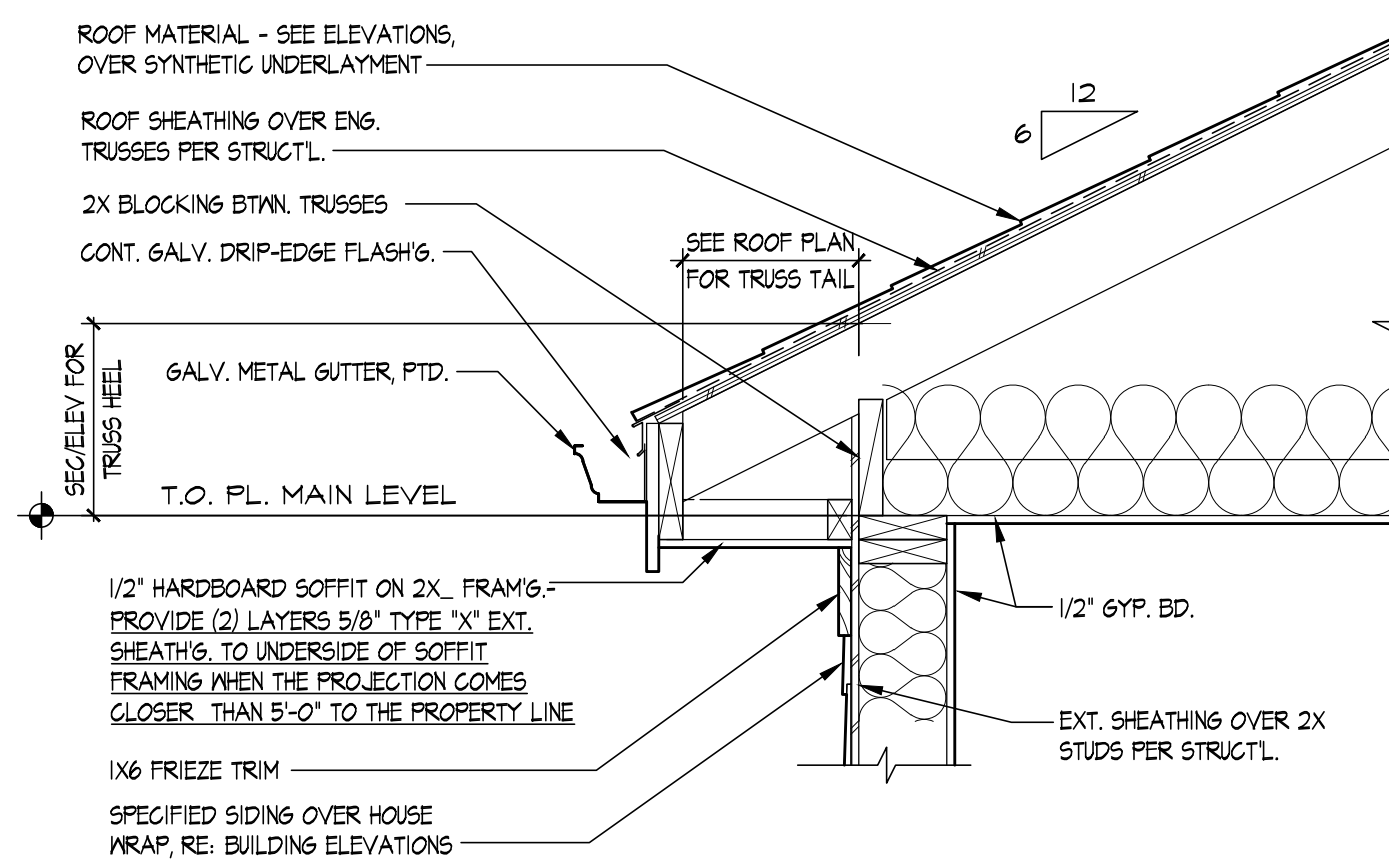


10 TYPICAL RAKE
SCALE: 1" = 1'-0"

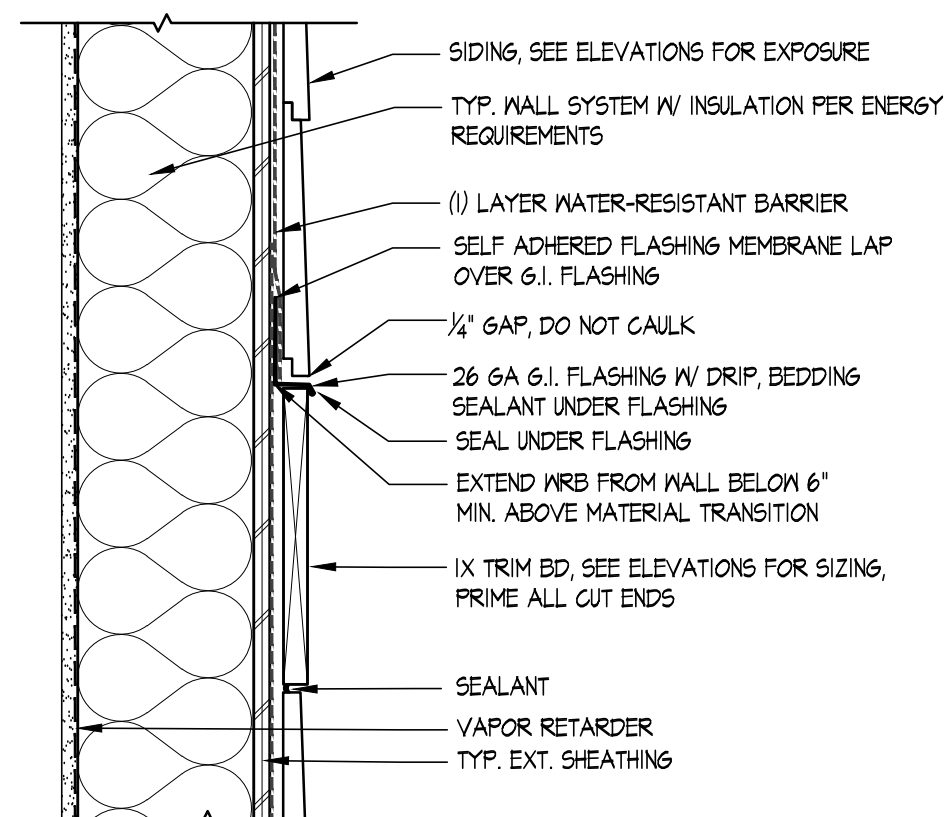
NOTE: INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS



9 ROOF TO WALL DETAIL
SCALE: 1" = 1'-0"

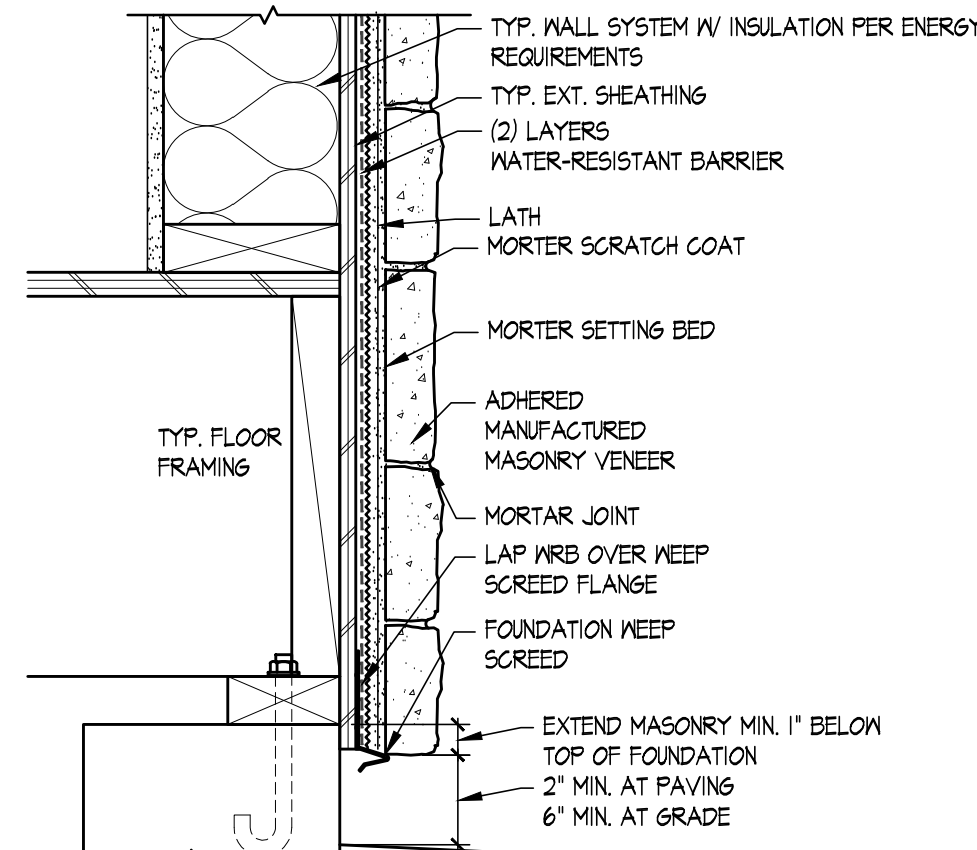


8 TYPICAL 6:12 EAVE
SCALE: 1" = 1'-0"

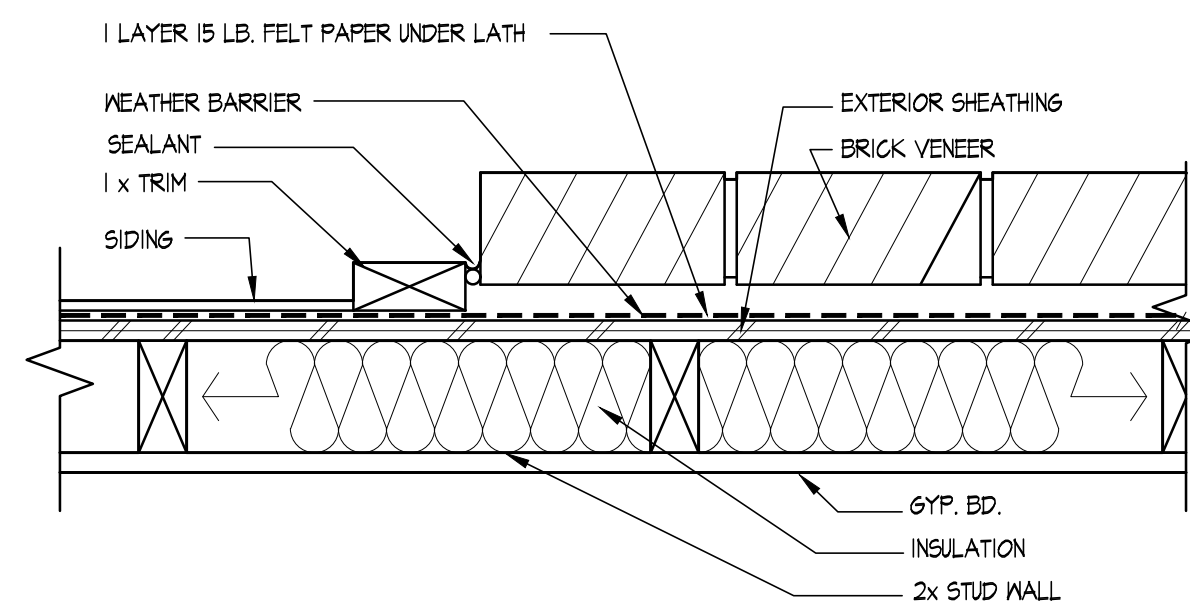


7 BELLY BAND TRIM AT SIDING
SCALE: 2" = 1'-0"

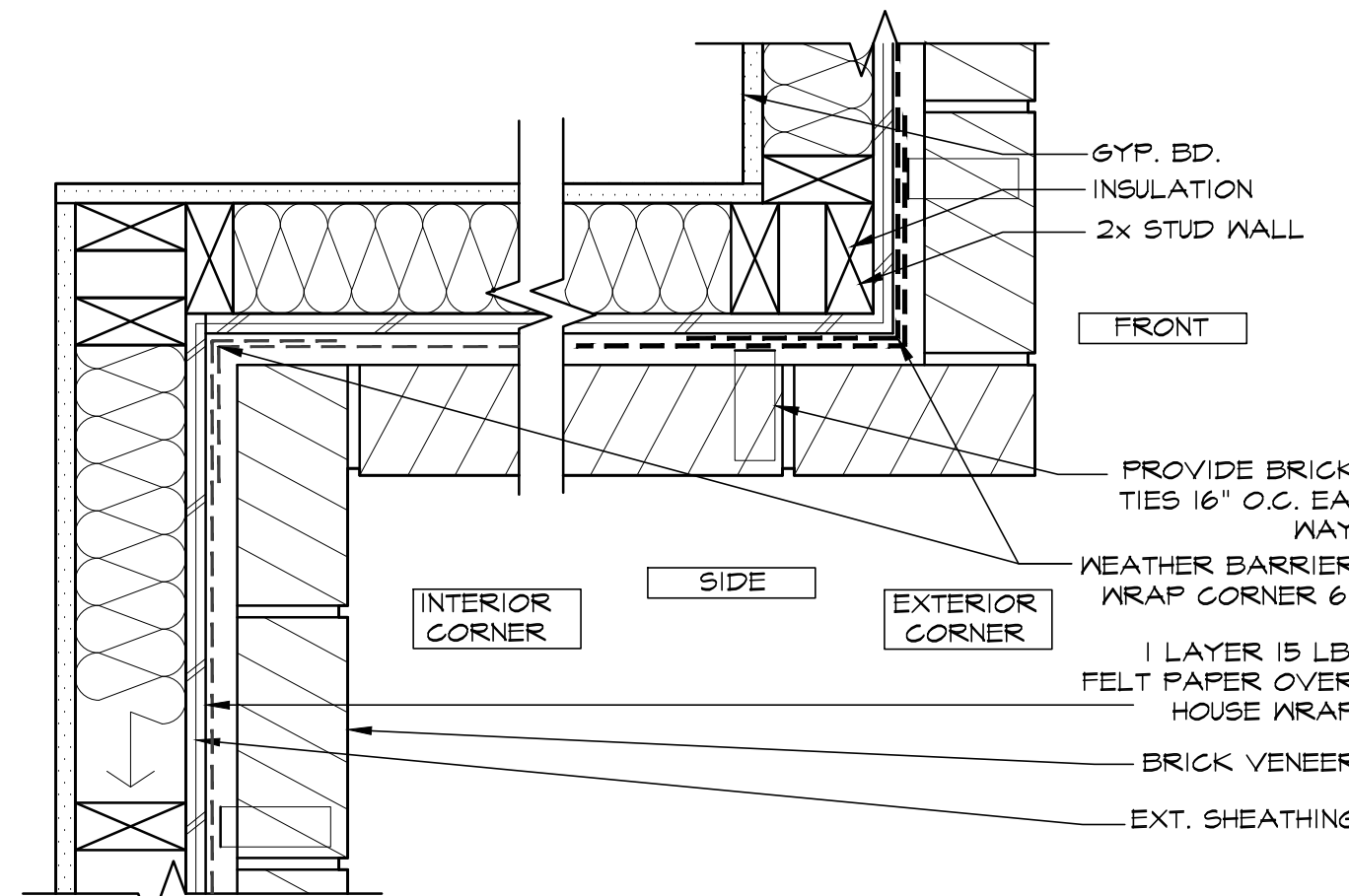
11 NOT USED
SCALE:



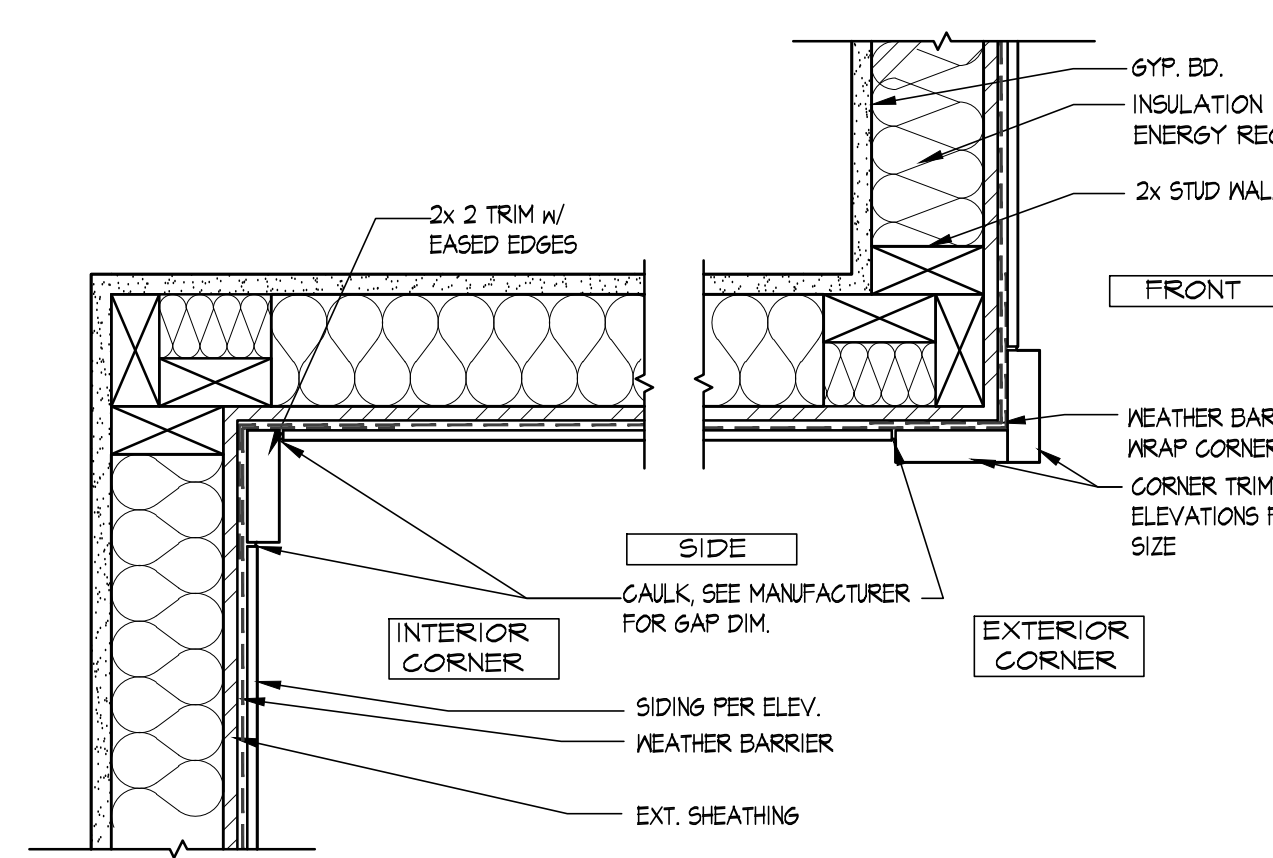
6 FOUNDATION DETAIL AT STONE
SCALE: 2" = 1'-0"



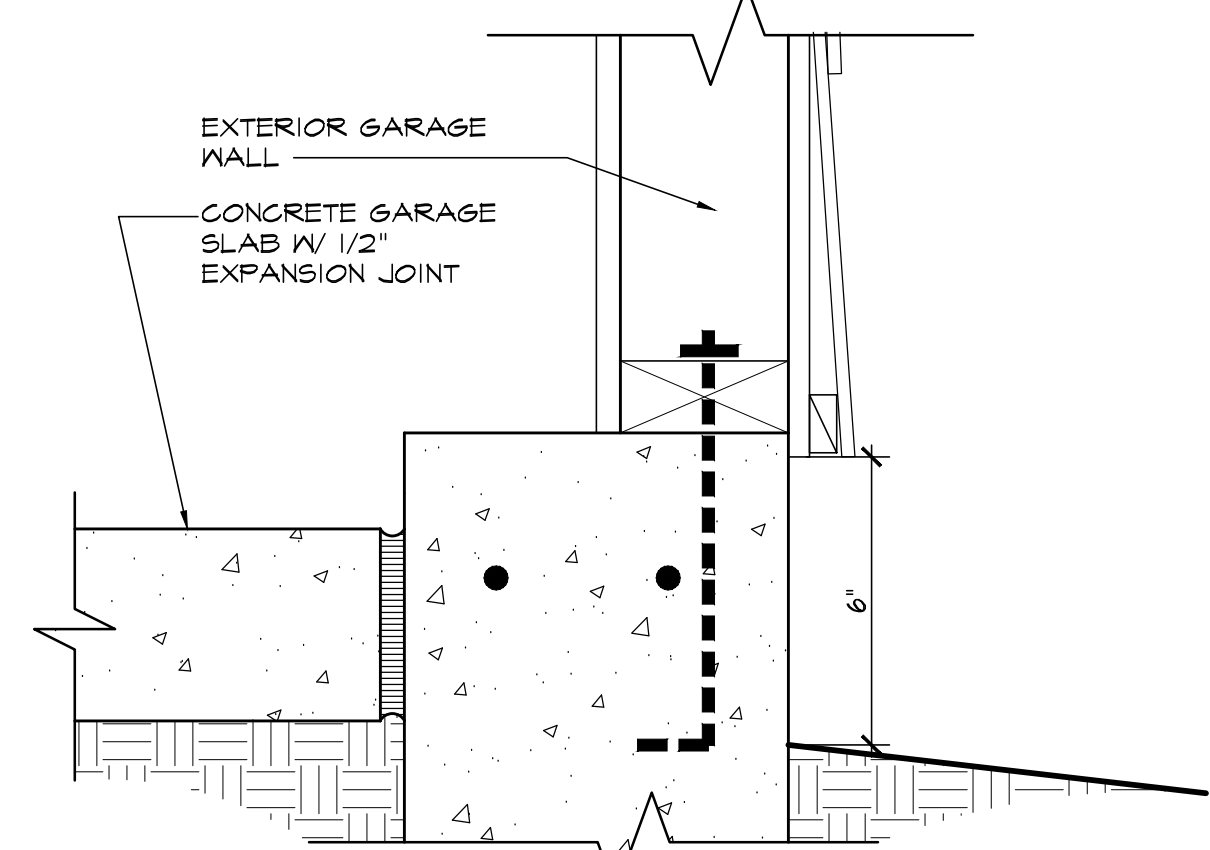
5 TRANSITION DETAIL BRICK-SIDING
SCALE: 2" = 1'-0"



4 CORNER DETAIL AT BRICK
SCALE: 2" = 1'-0"



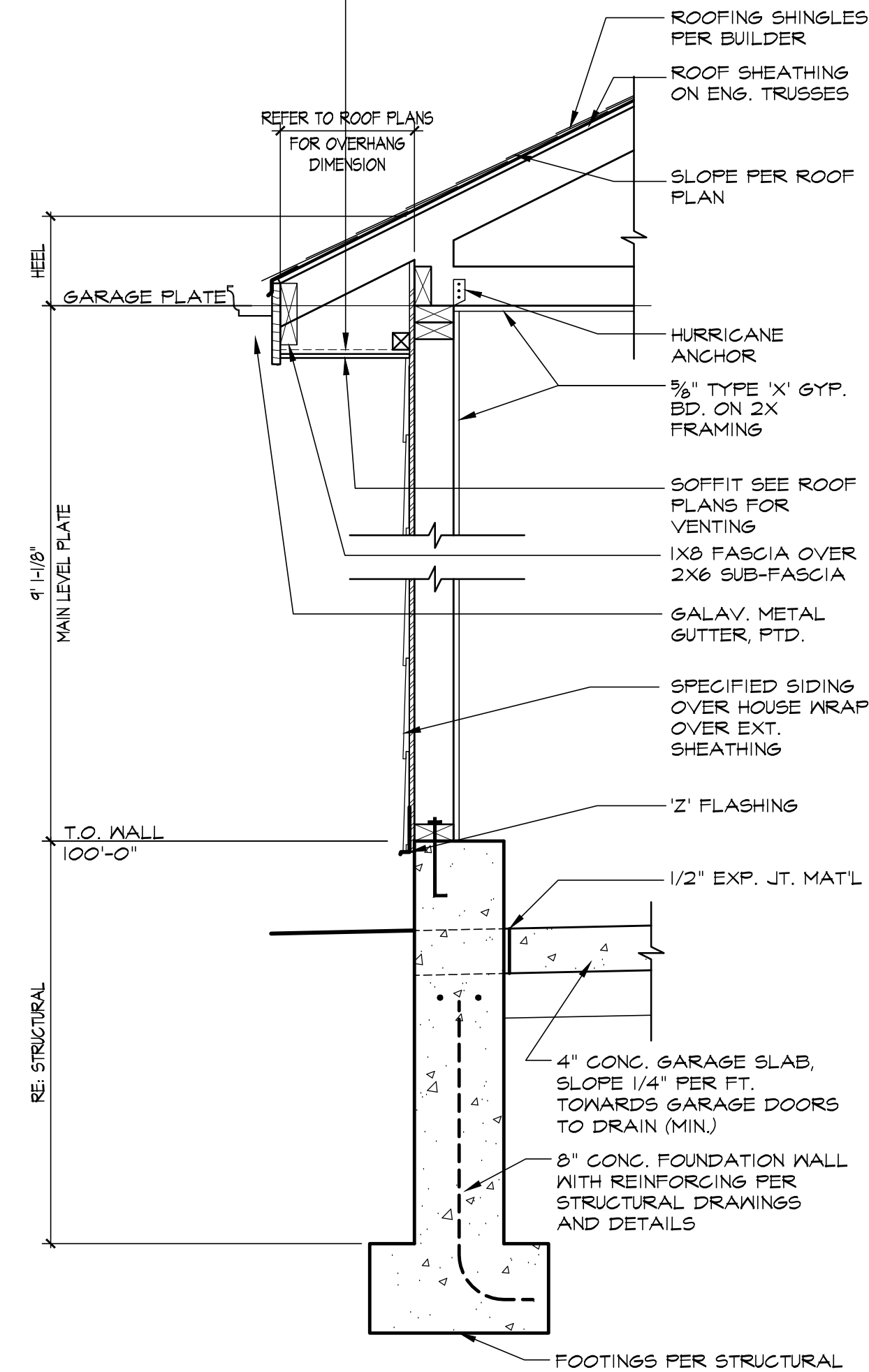
3 CORNER DETAIL AT SIDING
SCALE: 2" = 1'-0"



2 GARAGE FOUNDATION DETAIL
SCALE: 3" = 1'-0"

ICE SHIELD AND DRIP EDGE AS REQUIRED PER CODE

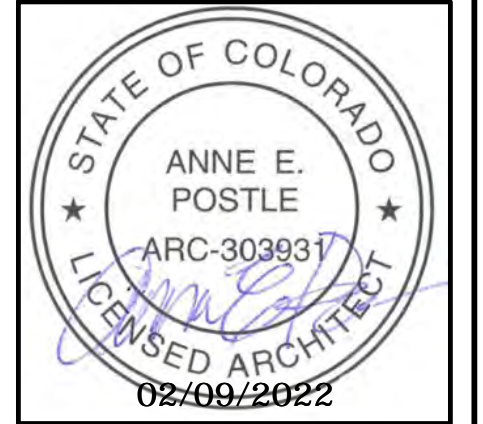
FIRE RATED OVERHANG (FOR USE WHEN OVERHANG IS WITHIN 5' OF PROPERTY LINE AND 10' OF ANY ADJACENT STRUCTURE):
(2)5/8" TYPE "X" GYPSUM SOFFIT BOARD; NO VENT, PROVIDE LOW ROOF VENTING PER CODE



1 GARAGE WALL SECTION
SCALE: 1" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS: ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSES ARCHITECTURE, INC. REMAIN OSMOSES ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSES ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION: RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A SINGLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

osmosis art and architecture
290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
PHONE: 303-525-2171
WWW.OSMOSISARCHITECTURE.COM

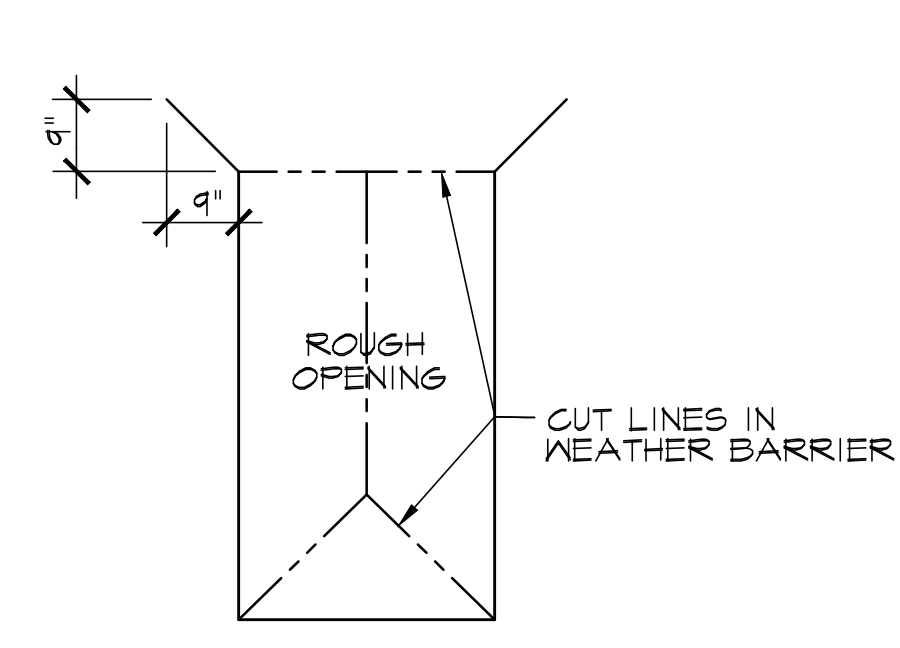
ORIGINAL ISSUE: DATE: 2/9/2022
PERMIT

CURRENT/REVISION ISSUE: DATE: 2/9/2022

NO.	REVISION TITLE:	DATE:

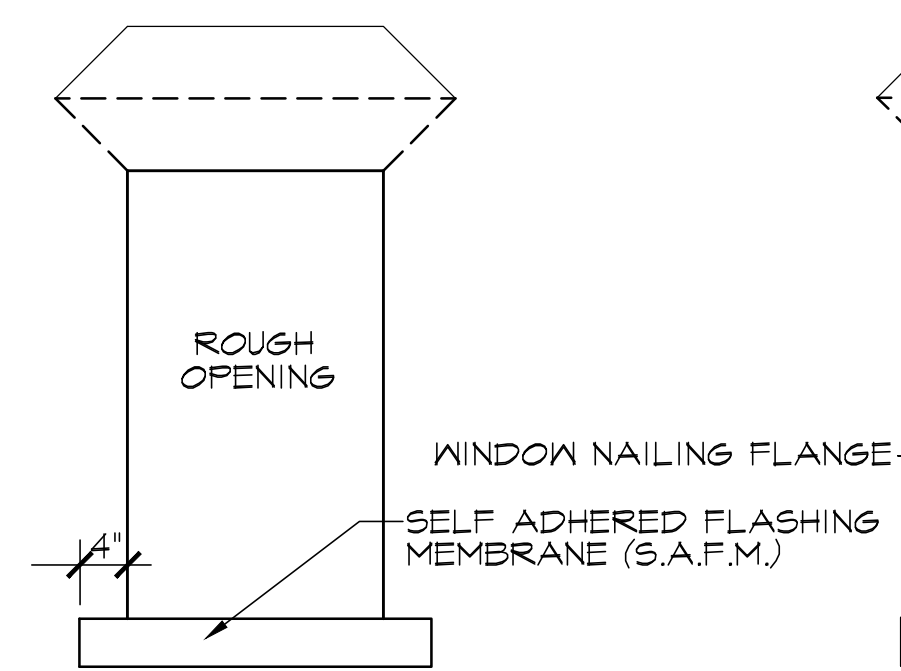
JOB #: 21028
DRAWN: TJK/KMK
CHECKED: AEP

AD-1



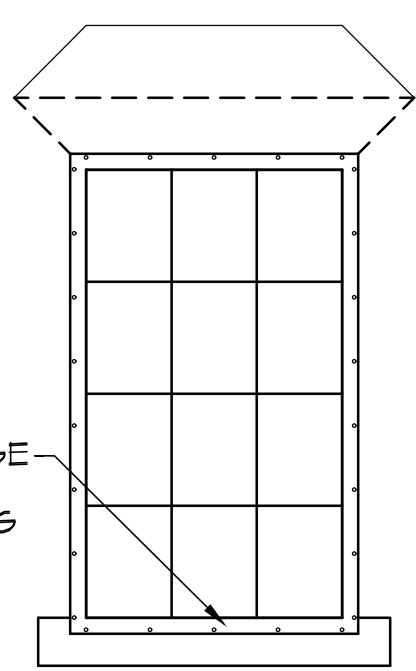
- A. INSTALL WEATHER BARRIER OVER ENTIRE HOUSE PER MFR'S INSTRUCTIONS
 B. CUT WEATHER BARRIER IN OPENINGS IN AN INVERTED 'Y' FROM SILL CORNERS UP TO HEAD & THEN 4" UP & 9" OUT ON 45 DEGREE ANGLE FROM HEAD/JAMB CORNERS

STEP 1



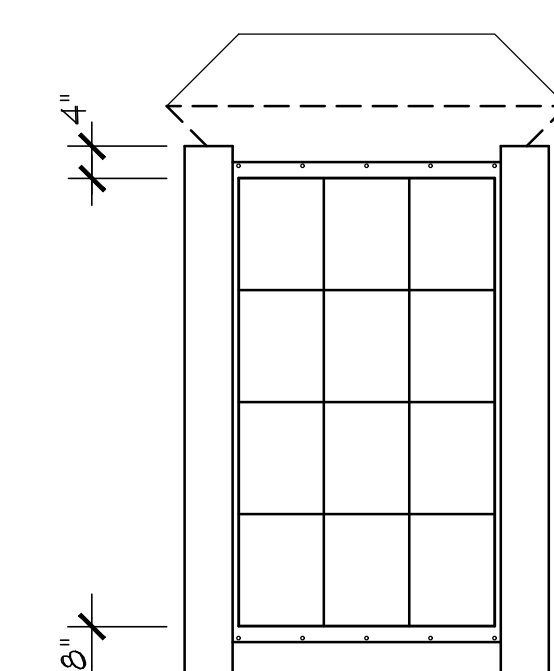
- A. FOLD TOP FLAP UP AND SECURE
 B. FOLD JAMB & SILL FLAPS OVER FRAMING & SECURE
 C. INSTALL S.A.F.M. SILL FLASHING 4" PAST JAMBS EACH SIDE

STEP 2



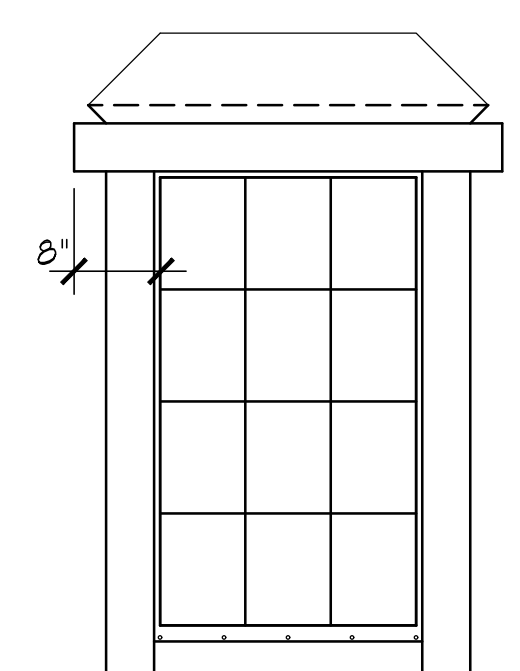
- A. INSTALL CONTINUOUS SEALANT BEAD TO BACK SIDE OF WINDOW NAILING FLANGE
 B. INSTALL WINDOW PER MFR'S INSTRUCTIONS

STEP 3



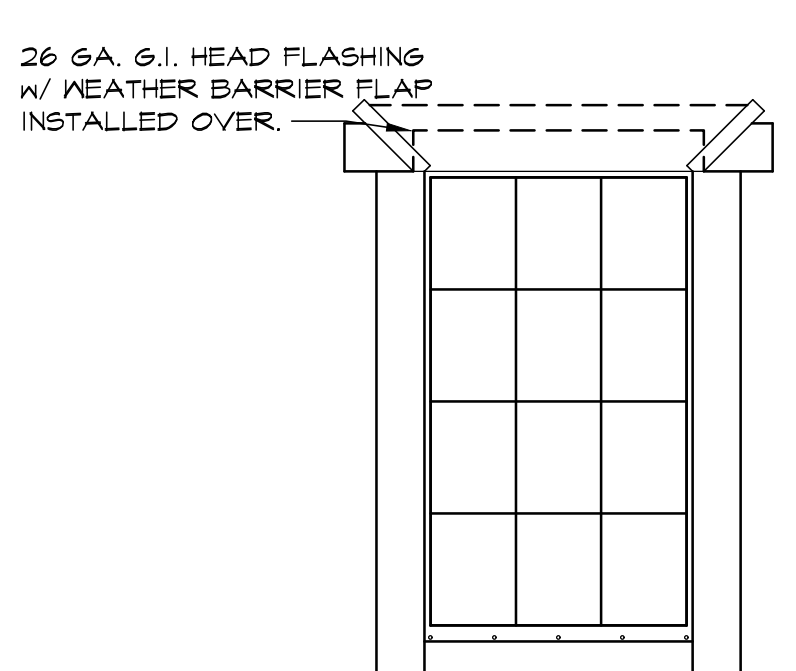
- A. INSTALL S.A.F.M. OVER WINDOW JAMB FLANGES
 B. EXTEND S.A.F.M. 4" ABOVE & 8" BELOW WINDOW ROUGH OPENING
 C. SILL FLASHING MUST NOT EXTEND PAST JAMB FLASHING

STEP 4



- A. INSTALL S.A.F.M. OVER WINDOW HEAD FLANGE
 B. EXTEND S.A.F.M. HEAD FLASHING 8" BEYOND ROUGH OPENING EACH SIDE

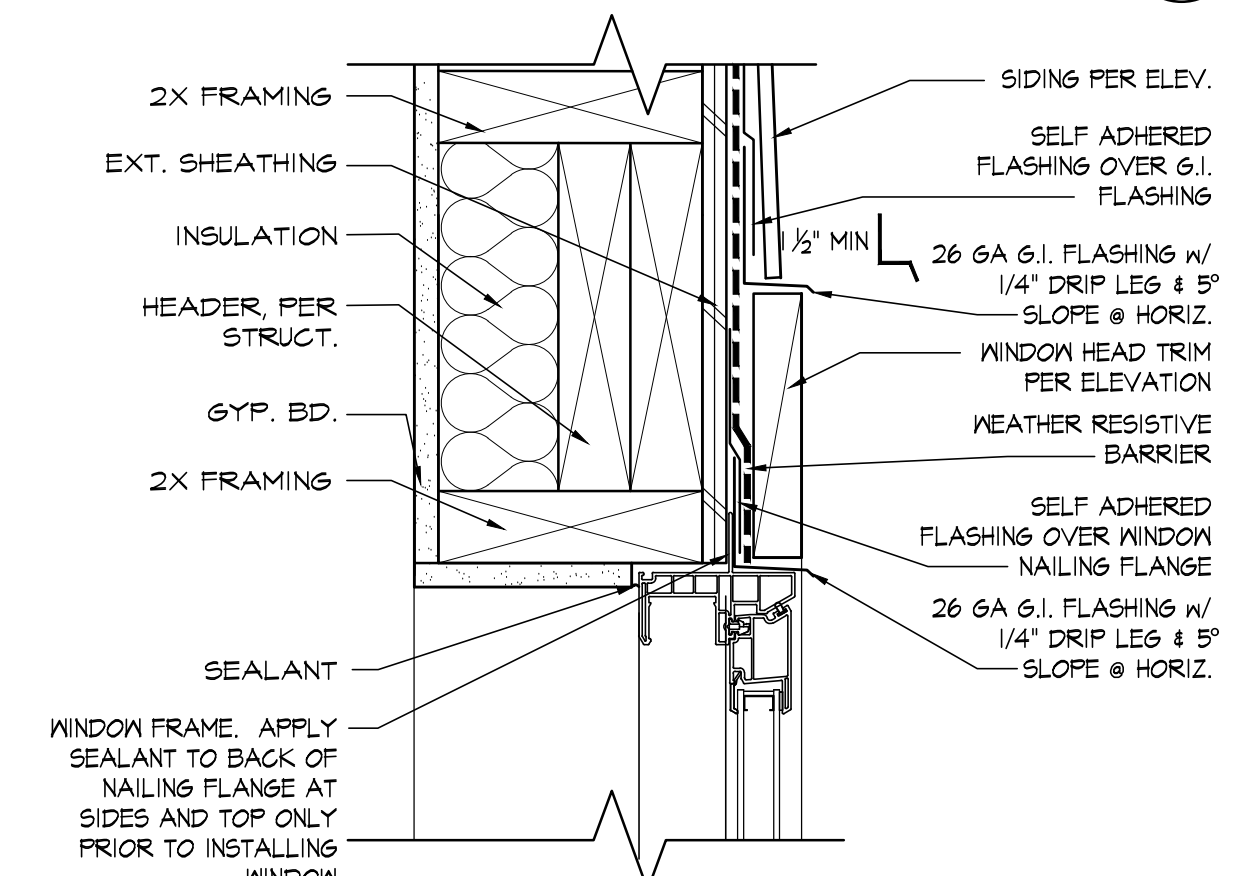
STEP 5



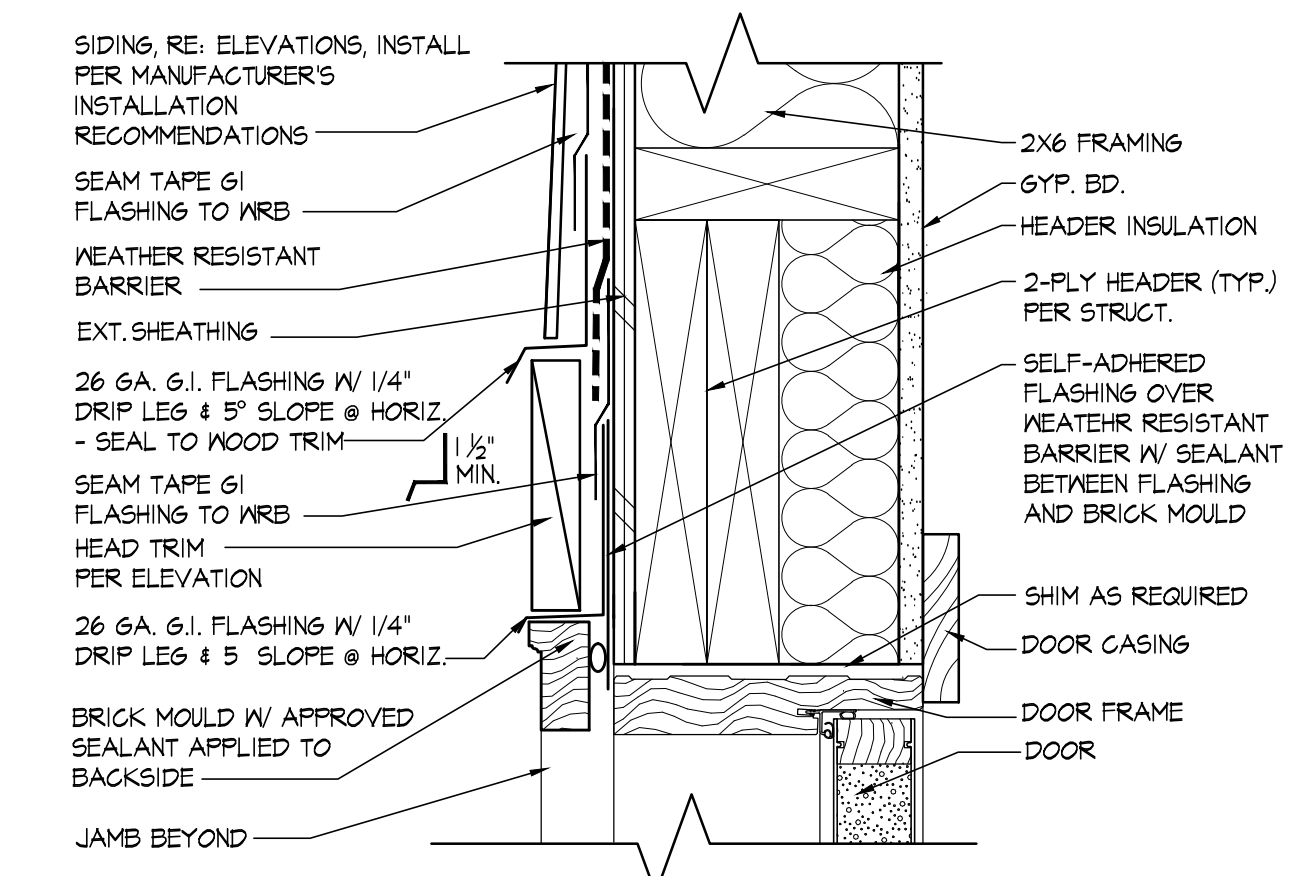
- ALLOW WEATHER BARRIER FLAP TO DRAPE OVER S.A.F.M. HEAD FLASHING & G.I. FLASHING. APPLY WEATHER RESISTANT TAPE OVER CUT IN THE WEATHER BARRIER.

STEP 6

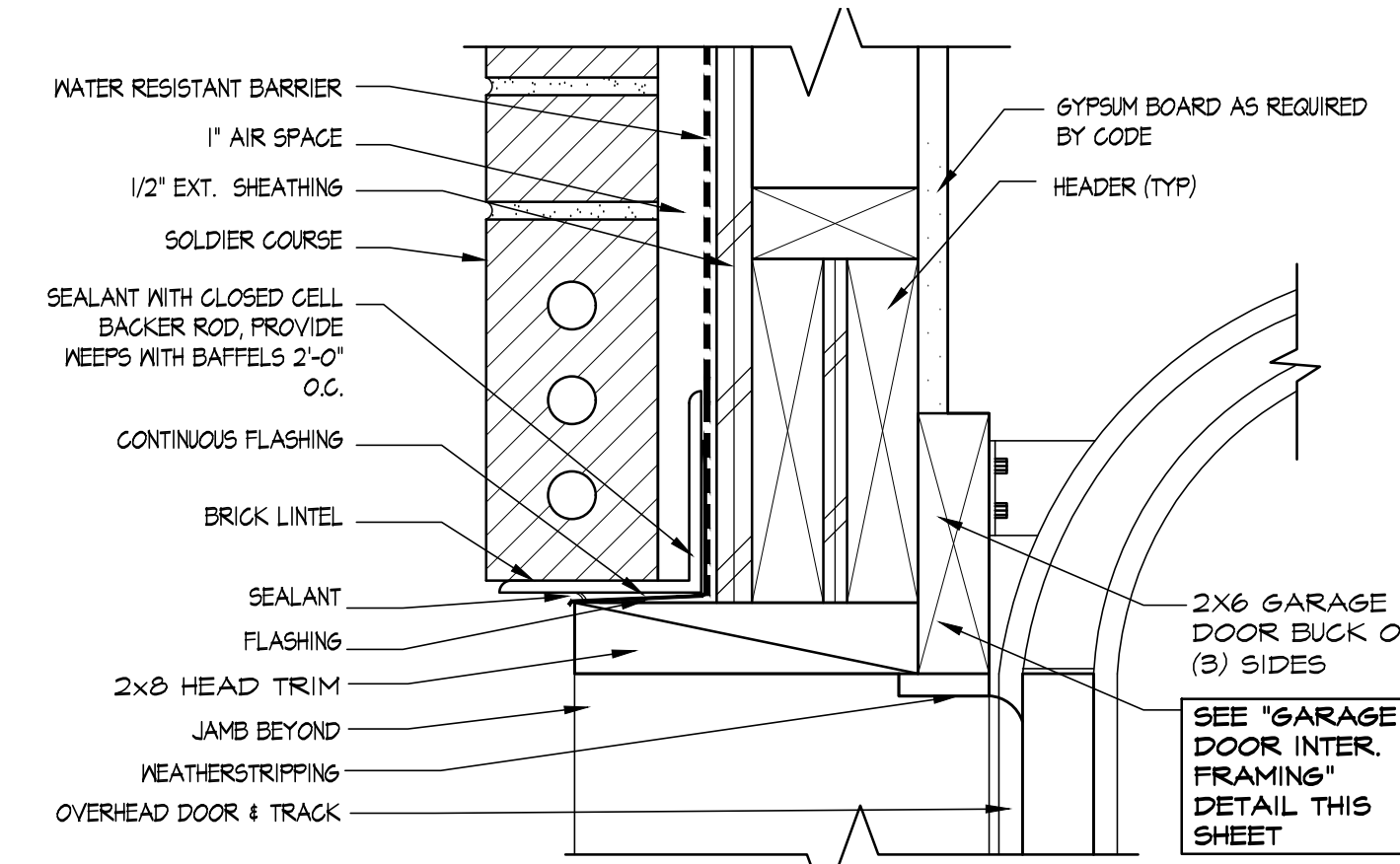
10 WINDOW FLASHING
SCALE: 1/2" = 1'-0"



9 WINDOW HEAD AT SIDING
SCALE: 3" = 1'-0"

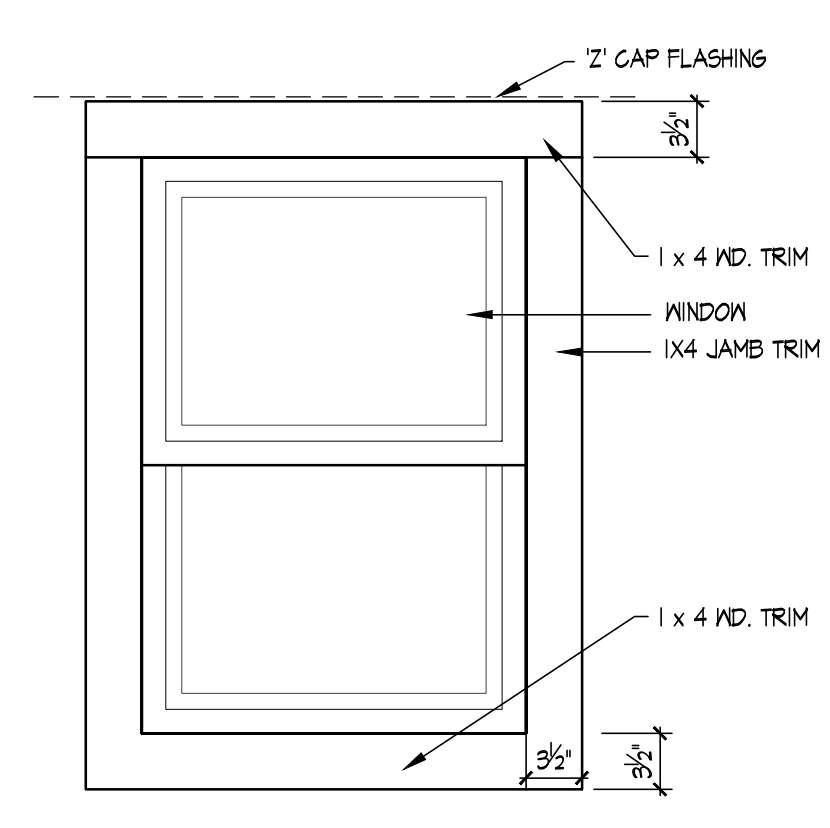


6 DOOR HEAD DETAIL AT SIDING
SCALE: 3" = 1'-0"

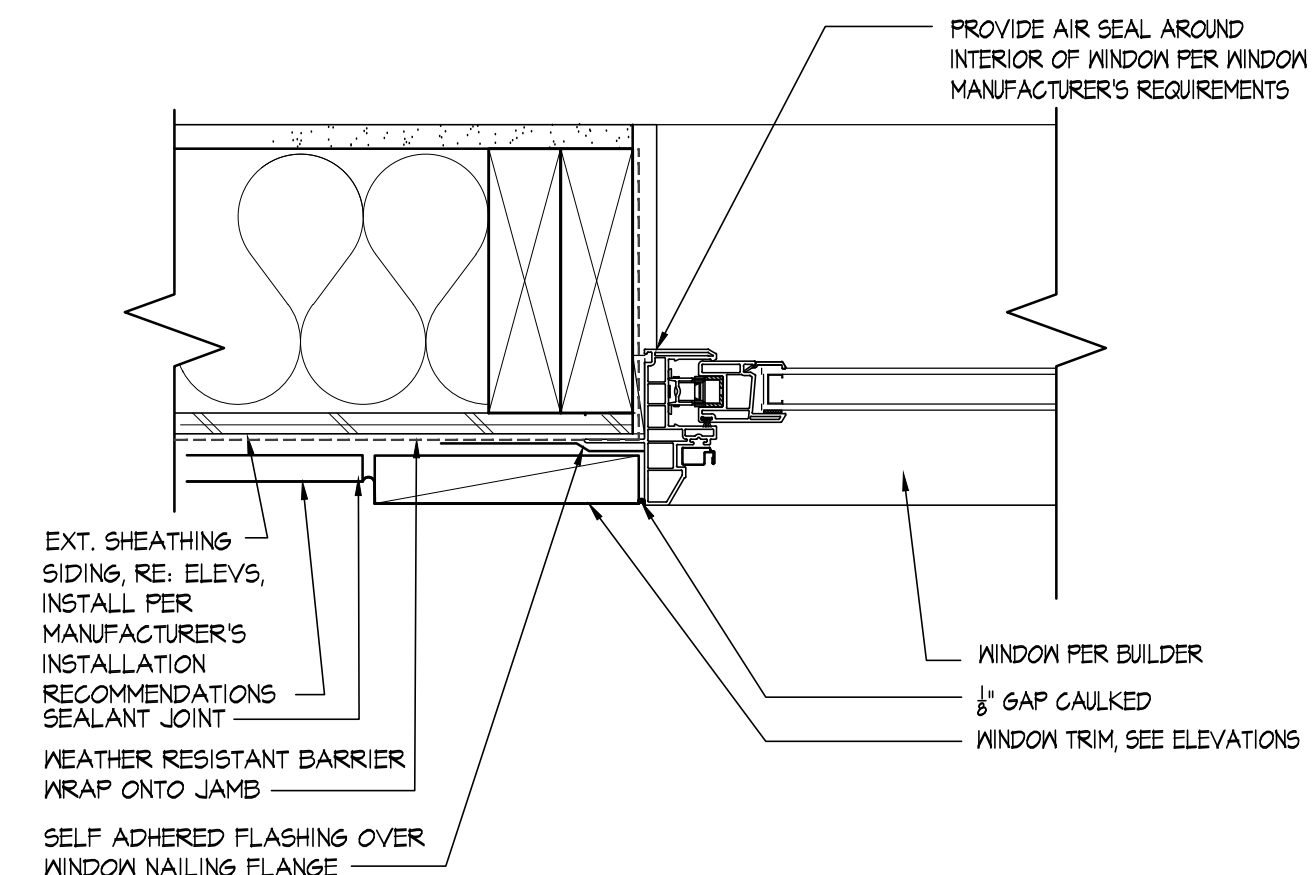


3 OVERHEAD DOOR DETAIL AT BRICK
SCALE: 3" = 1'-0"

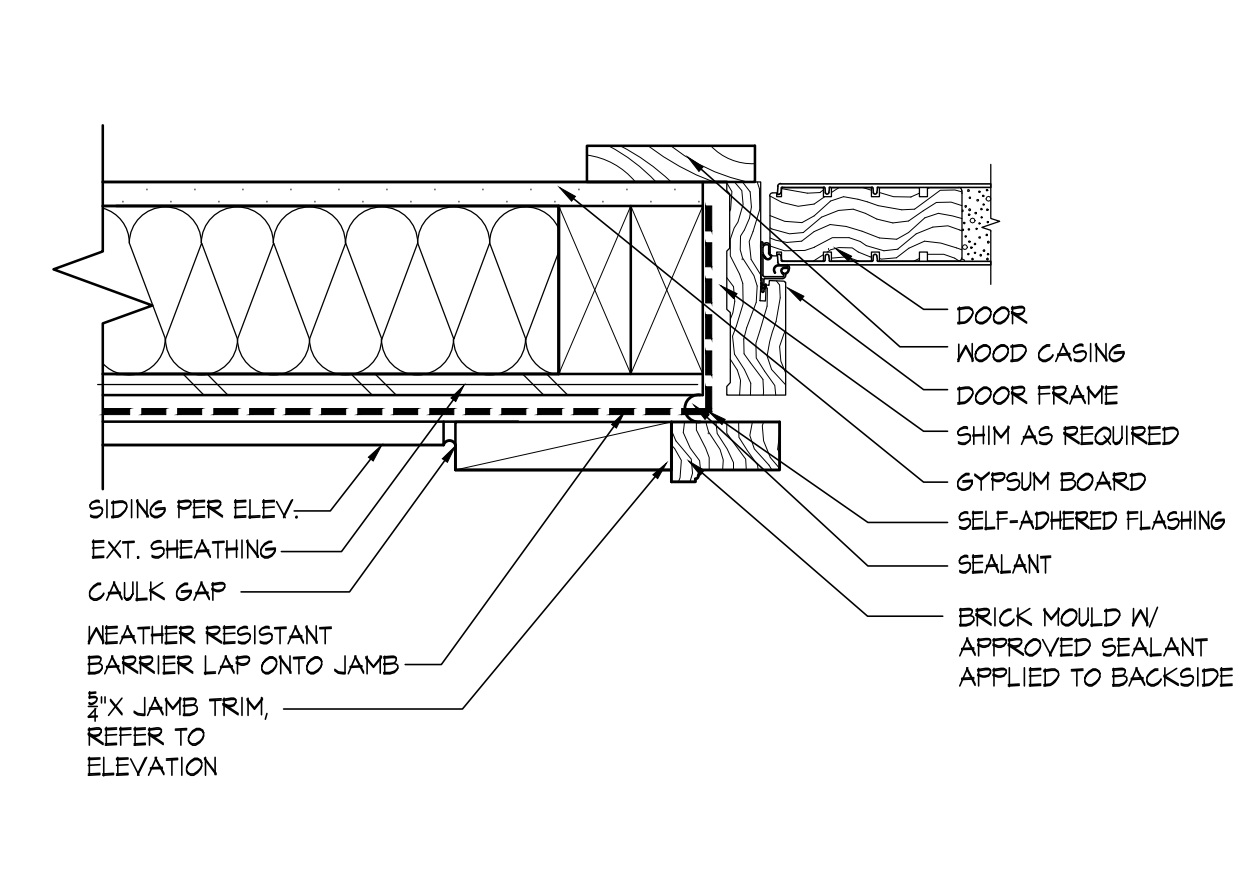
13 NOT USED
SCALE:



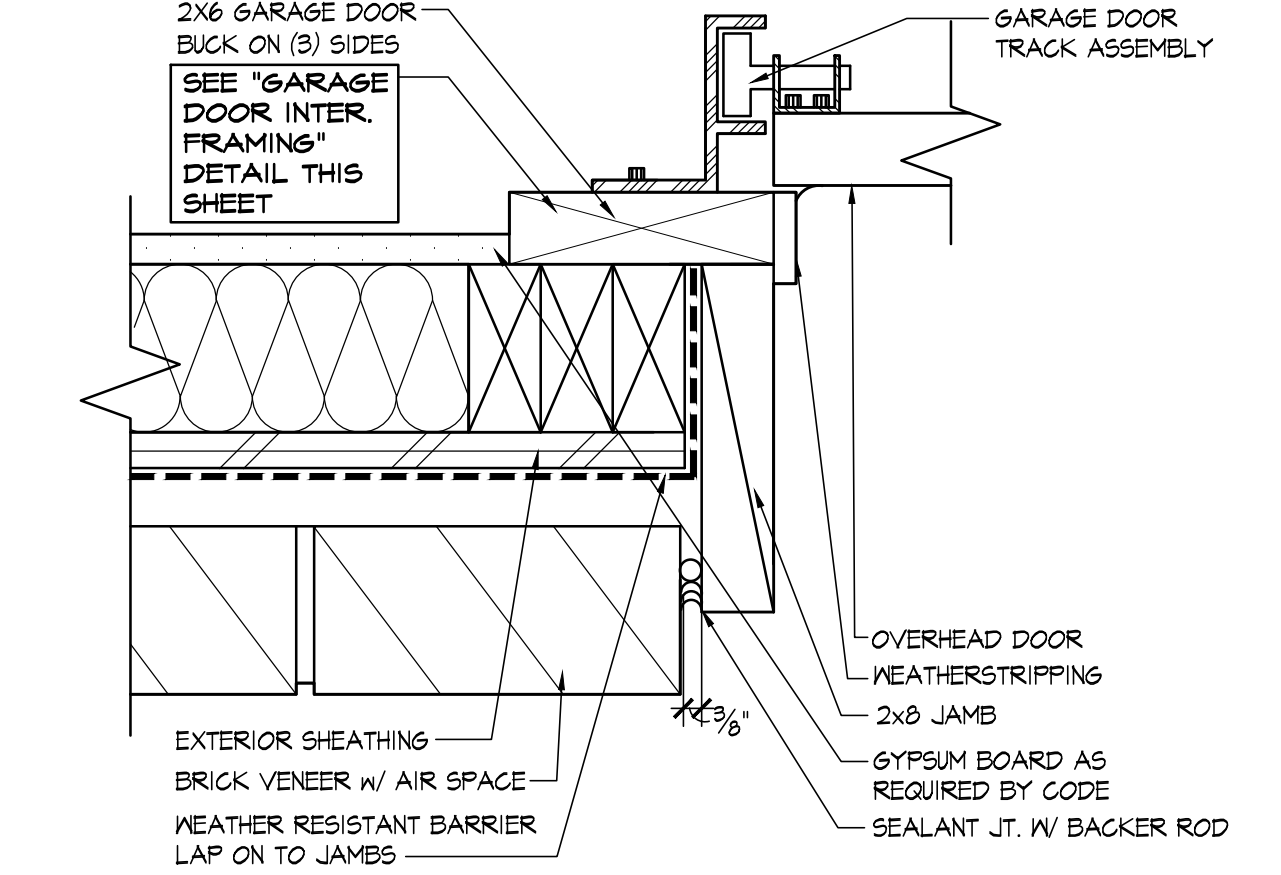
12 WINDOW TRIM DETAIL
SCALE: 1" = 1'-0"



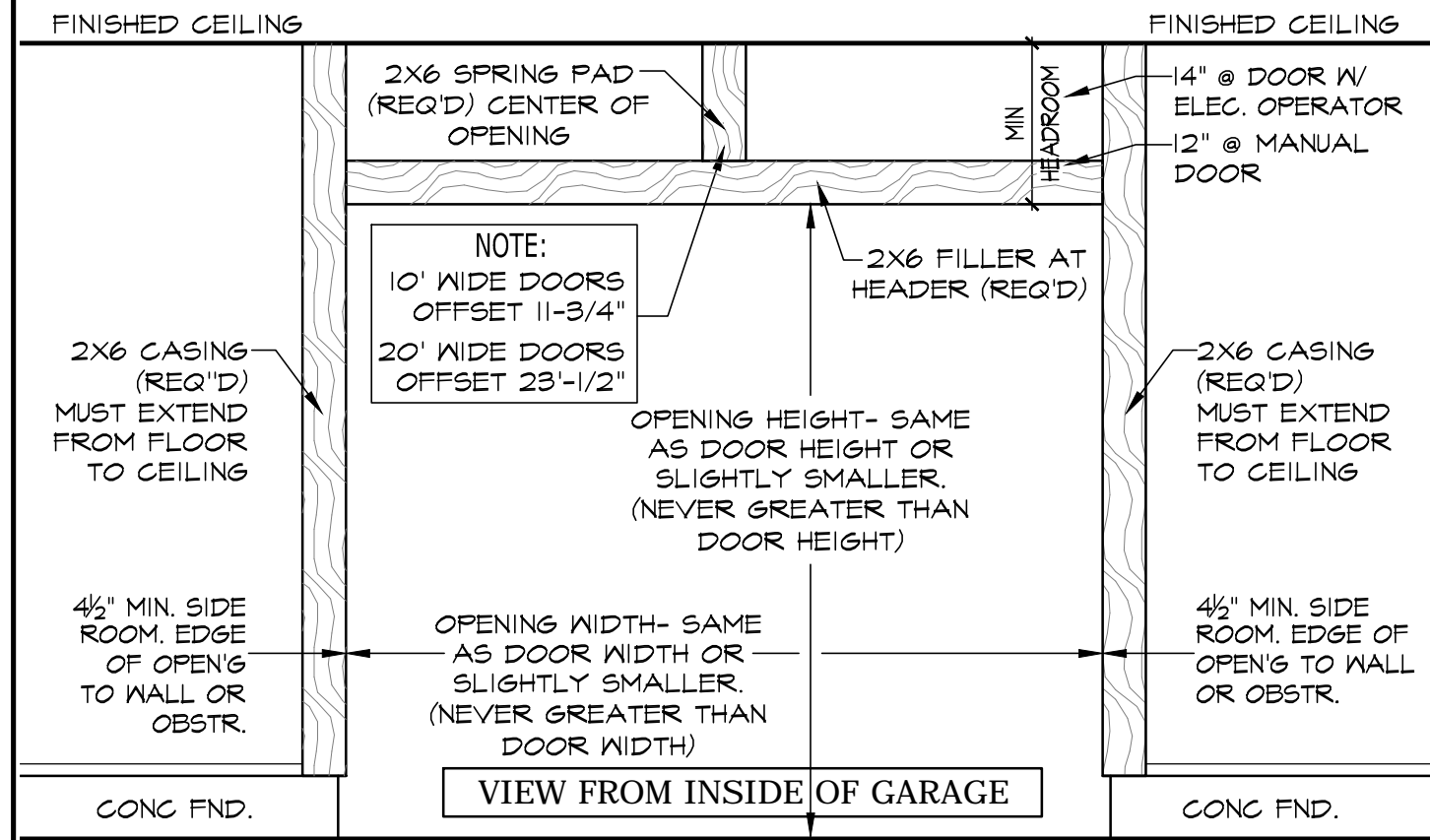
8 WINDOW JAMB AT SIDING
SCALE: 3" = 1'-0"



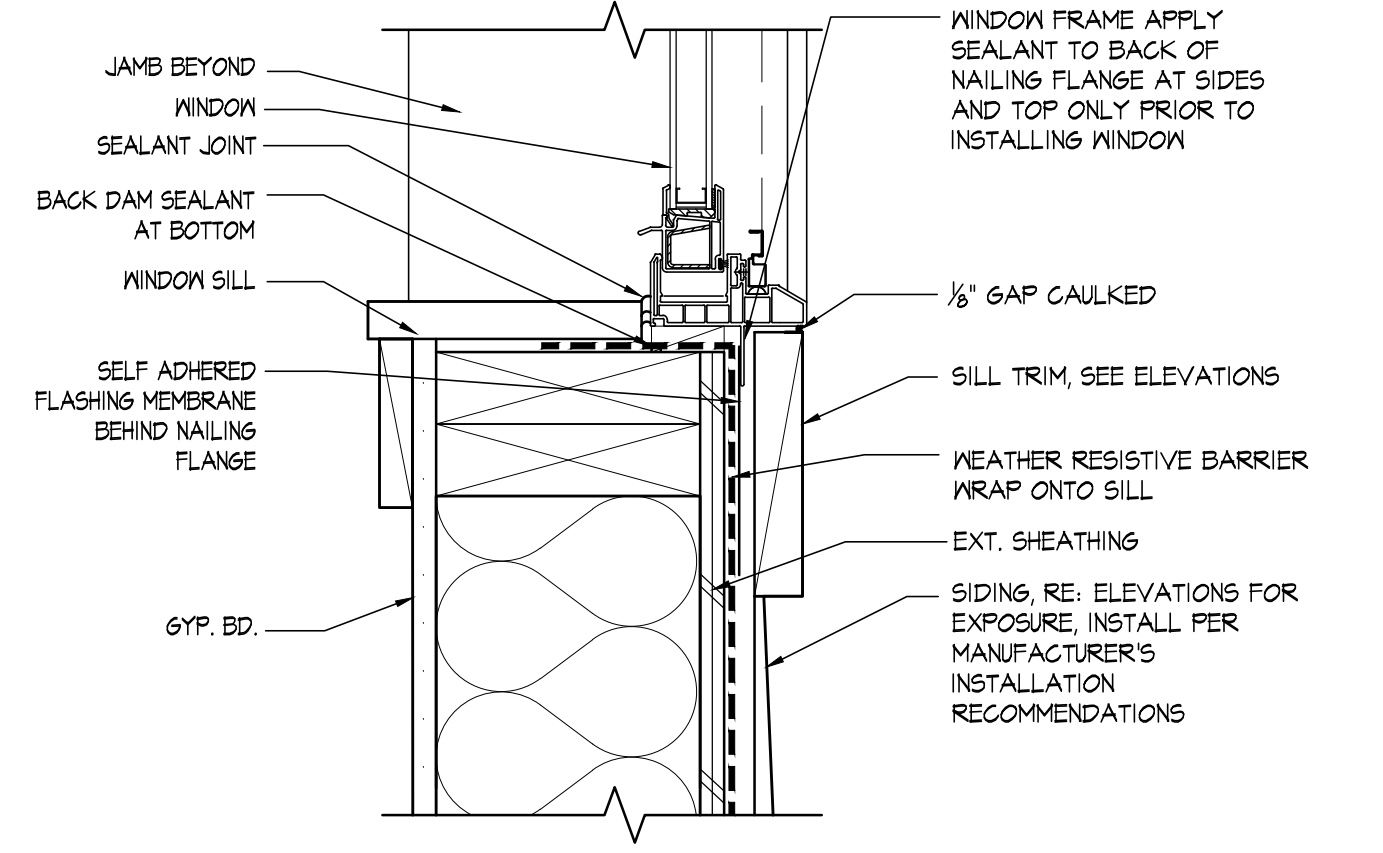
5 DOOR JAMB DETAIL AT SIDING
SCALE: 3" = 1'-0"



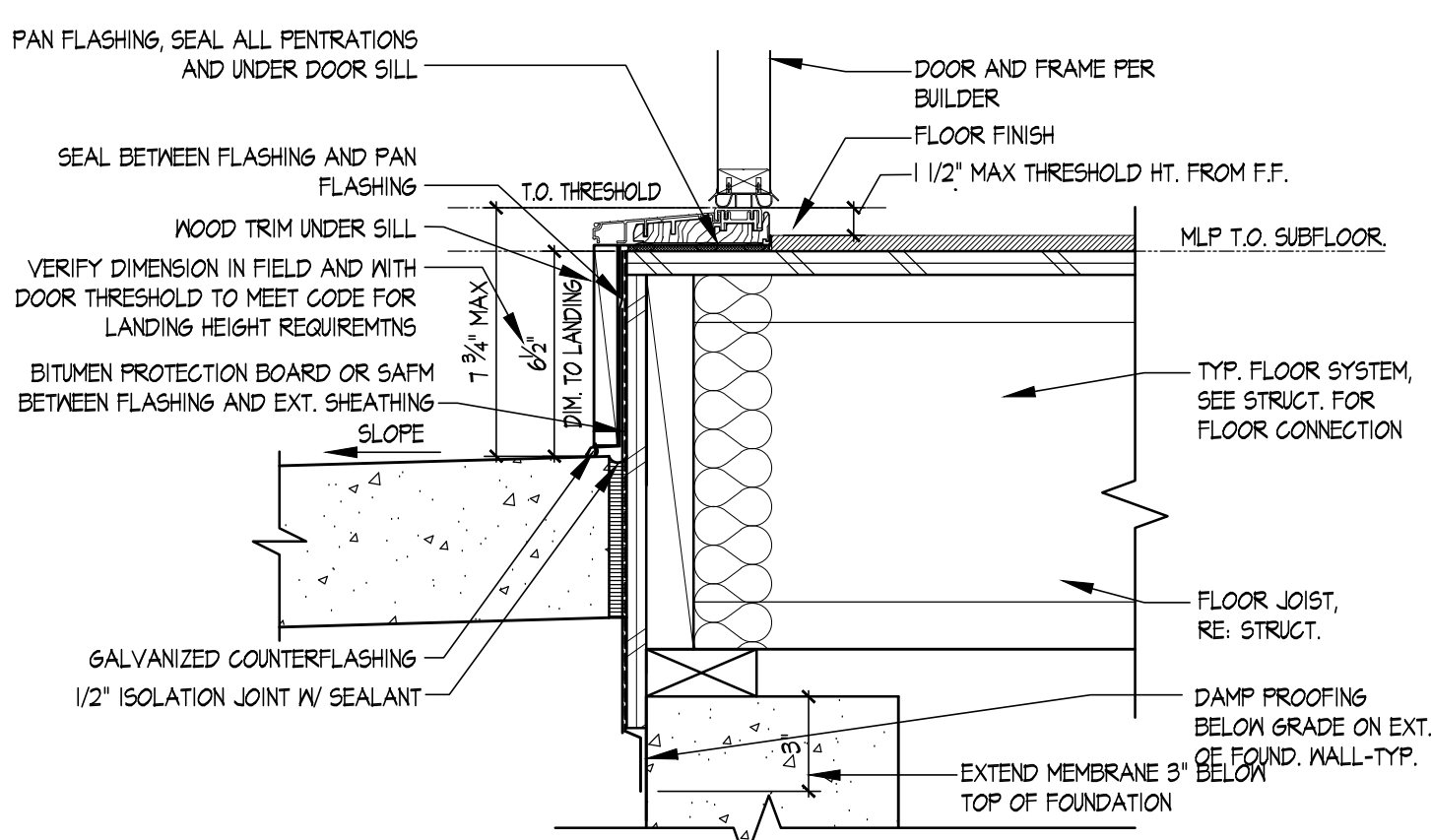
2 OVERHEAD DOOR JAMB DETAIL AT BRICK
SCALE: 3" = 1'-0"



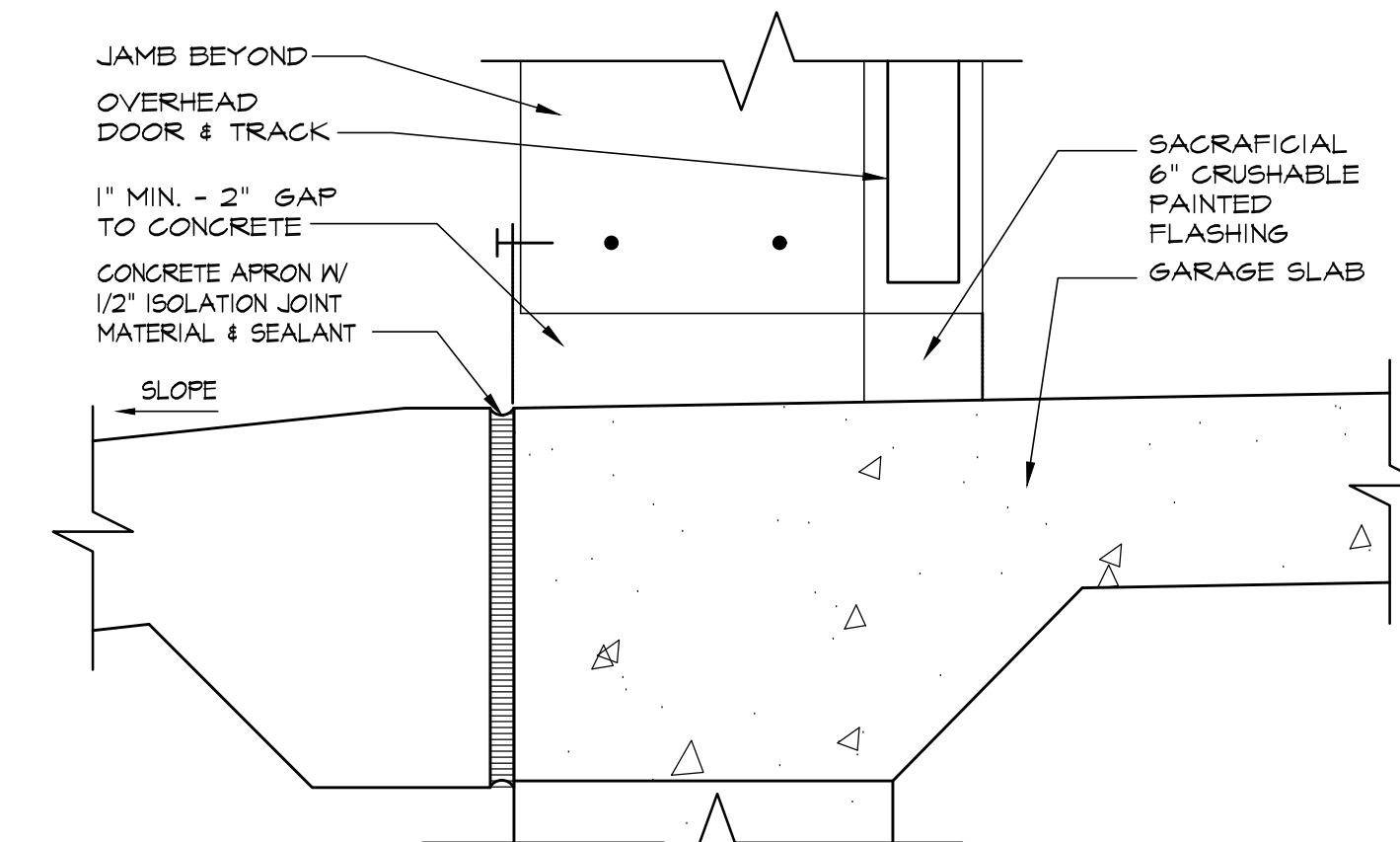
11 GARAGE DOOR INTER. FRAMING
NOT TO SCALE



7 WINDOW SILL AT SIDING
SCALE: 3" = 1'-0"

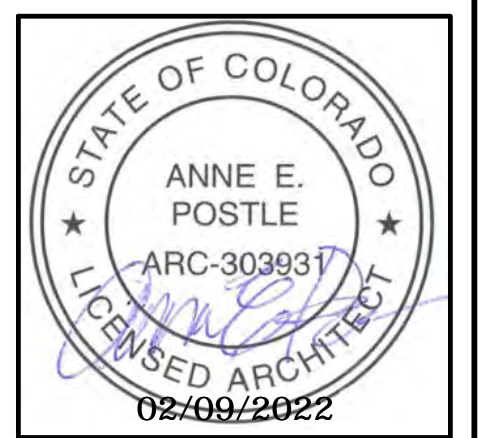


4 DOOR SILL AT PATIO/PORCH
SCALE: 2" = 1'-0"



1 OVERHEAD DOOR SILL DETAIL
SCALE: 3" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS
 ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSMOSIS ARCHITECTURE, INC. REMAIN OSMOSIS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSMOSIS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.
 DATE OF COOPERATION
 RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A PARTY NOTIFIED TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



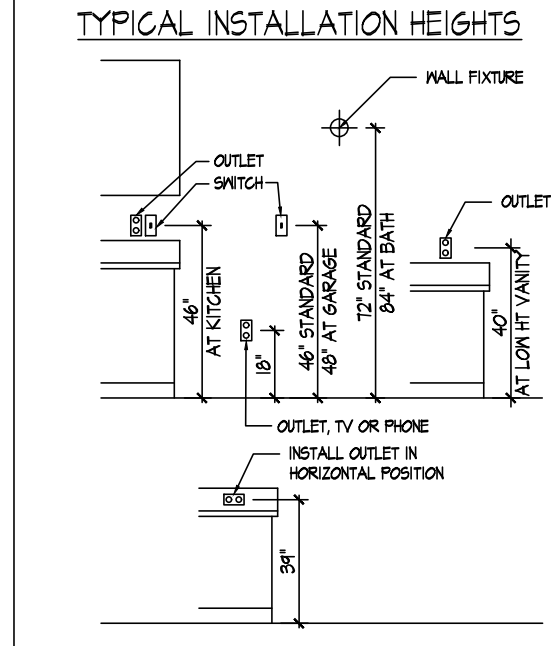
HOLMES RESIDENCE
 8217 WILLOW LANE
 NIWOT, COLORADO 80503

osmosis art and architecture
 290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
 PH: 970.525.2171
 WWW.OSMOSISARCHITECTURE.COM

ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022
CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022
NO.:	REVISION TITLE:
	DATE:

JOB #: 21028
 DRAWN: TJK/KMK
 CHECKED: AEP

AD-2

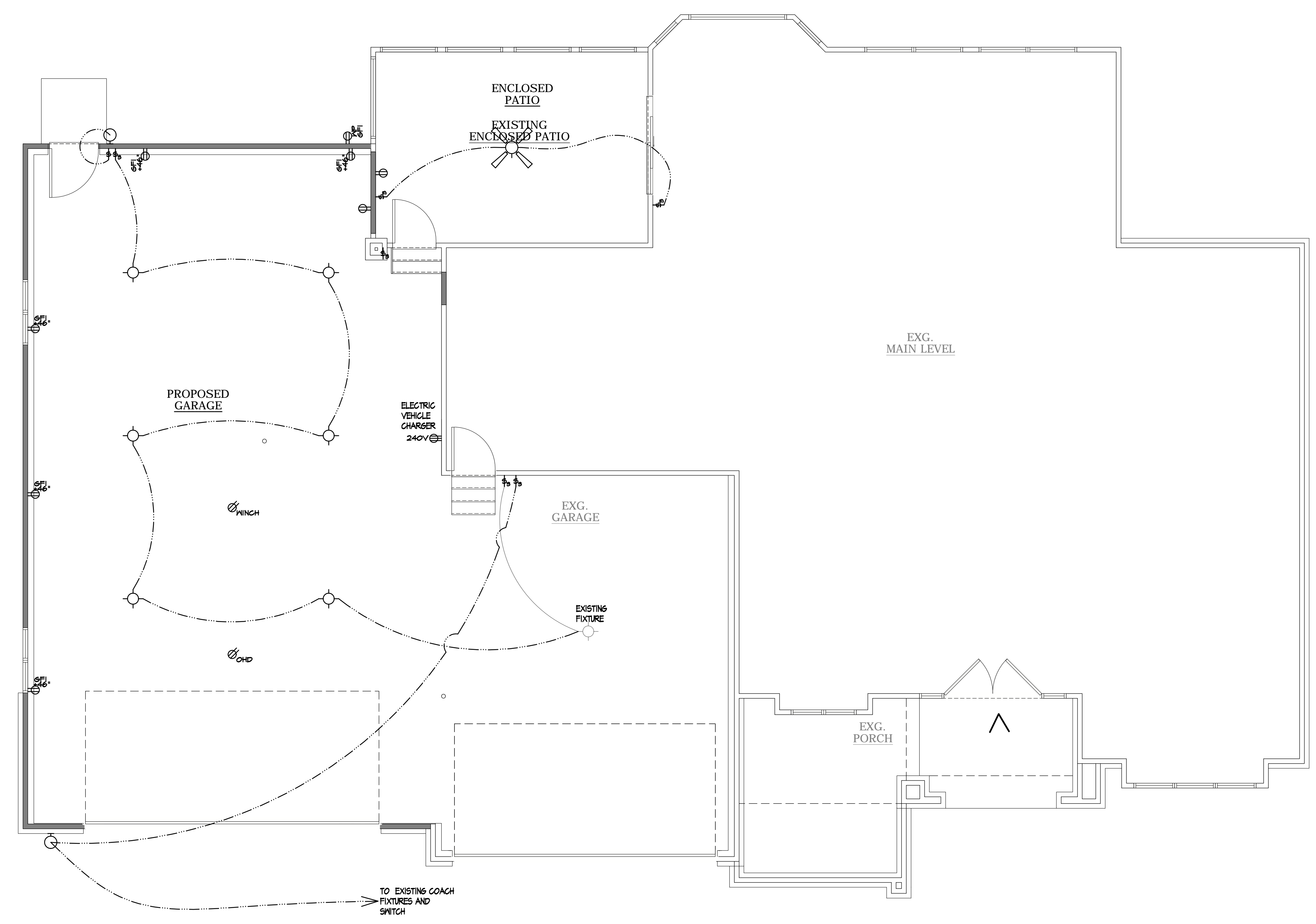


ELECTRICAL KEY:

- ⊕ DUPLEX OUTLET
- ⊕ WEATHERPROOF DUPLEX OUTLET
- ⊕ GROUND-FAULT CIRCUIT-INTERRUPTER
- ⊕ HALF-SWITCHED DUPLEX OUTLET
- ⊕ DUPLEX OUTLET IN FLOOR
- ⊕ 220 VOLT OUTLET
- ⊕ WALL SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ FOUR-WAY SWITCH
- ⊕ DIMMER SWITCH
- ⊕ RHEOSTAT SWITCH
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ RECESSED LIGHT FIXTURE
- ⊕ RECESSED ADJ. EYEBALL LIGHT FIXTURE
- ⊕ RECESSED DAMP PROOF LIGHT FIXTURE
- ⊕ LIGHT FIXTURE WITH FULL CHAIN
- ⊕ WALL WASHER/STEP LIGHT
- ⊕ SPECIAL PURPOSE OUTLET/JUNCTION BOX
- ⊕ REINFORCED JUNCTION BOX
- ⊕ TRACK LIGHT
- ⊕ FLUORESCENT LIGHT FIXTURE
- ⊕ EXHAUST FAN (VENT TO EXTERIOR, NOTE # 3)
- ⊕ EXHAUST FAN/LIGHT COMBO. (VENT TO EXTERIOR, NOTE # 3)
- ⊕ OUTLET FOR GARAGE DOOR OPENER
- ⊕ CHIMES/DOORBELL
- ⊕ PUSHBUTTON SWITCH
- ⊕ GAS SHUT-OFF VALVE
- ⊕ TECH PORTS (PHONE, 2 DATA, CABLE)
- ⊕ TECH PANEL
- ⊕ SMOKE DETECTOR (NOTE # 4)
- ⊕ CARBON MONOXIDE DETECTOR (NOTE # 4)
- ⊕ TELEPHONE
- ⊕ TELEVISION
- ⊕ THERMOSTAT
- ⊕ ELECTRIC METER
- ⊕ ELECTRIC PANEL
- ⊕ SPEAKER
- ⊕ CEILING FAN (PROVIDE ADEQUATE SUPPORT)
- ⊕ DASHED LINE INDICATES PRE-WIRE ONLY
- ⊕ CEILING FAN W/LIGHT FIXTURE (PROVIDE ADEQUATE SUPPORT) DASHED LINE INDICATES PRE-WIRE ONLY
- ⊕ UNDER COUNTER LIGHT
- ⊕ FIRE SPRINKLER

ELECTRICAL NOTES:

1. Unless otherwise indicated, install switches, receptacles, etc. at the following heights above Finish Floor:
 - Outlets.....18"
 - Telephone.....12"
 - Television.....48"
 - Outlets above low bath countertop.....40"
 - Outlets above kitchen countertop.....46"
 - Switches.....46"
 - Garage Switches and Outlets.....48"
 - Thermostat.....58"
 - Chimes.....84"
2. Field verify location of fixture where indicated.
3. All bathroom exhaust fans shall be connected (inhausted) directly to the outside and shall provide a minimum of 50cfm intermittently and 20cfm cont.
4. All smoke detectors & carbon monoxide detectors shall be interconnected to provide alarm which will be audible in sleeping areas. Detectors must receive power from 120 volt building wiring with battery backup. CO detectors are required to be installed outside sleeping areas in immediate vicinity of bedrooms. Smoke alarms are required to be located within each sleeping room, outside each sleeping area in immediate vicinity of each story and within 5' of a bathroom containing a tub/shower. CO detectors are required to be installed in bedrooms where a fire burning appliance is located or in its attached bathroom. Section R504.4.3(5)
5. Countertop receptacles shall be installed at each countertop spaced 12' or wider and at no point along the countertop is 24' from a receptacle with exceptions at sinks and ranges.
6. A minimum of two 20-ampere-rated branch circuits shall be provided to serve all wall and floor receptacle outlets located in the kitchen, party, breakfast area, dining area or similar area of a dwelling. The kitchen countertop receptacles shall be served by a minimum of two 20-ampere-rated branch circuits, either or both of which shall also be permitted to supply other receptacle outlets in the same kitchen, party, breakfast and dining area including receptacle outlets for refrigeration appliances.
7. A maximum of eight electrical outlets may be connected to a 15 ampere branch circuit (Refer to any local amendments if applicable).
8. The grounding electrode system shall include an electrode encased by at least 2" of concrete, located within and near the bottom of a concrete foundation or footing that is in direct contact with the earth, consisting of at least 20 ft. of one or more bare or zinc galvanized or other electrically conductive coated steel reinforcing bars or rods of not less than 1/2" dia. or consisting of at least 20 ft bare copper conductor not smaller than No. 2, Article 250-8(C), NEC.
9. Light fixtures in clothes closets must comply with Article 10-8, NEC.
10. Receptacle outlets must be installed in habitable rooms so that at no point along the floor line in any wall space 2 ft. or more in length is more than 6' measured for total from outlet, Article 210-52A, NEC.
11. A minimum of 75% of the lamps in permanently installed lighting fixtures shall be high-efficiency lamps or not less than 75% of the permanently installed lighting fixtures shall only contain high-efficiency lamps, per section N10-4.
12. If a concrete slab floor is used in the basement, then a continuously running fan is required in the laundry room.
13. Provide tamper-resistance receptacles in locations required by code.
14. Branch circuits serving habitable spaces shall be ARC fault protected (RC E9922)2)
15. Gas manifold serving CSST gas piping shall be bonded to the electrical service grounding electrode system. (RC 624(1))
16. All receptacle outlets located within 6' of the edge of sinks, including those below sinks, must be GFCI protected, except disposals, Article 210.8(A)(1), NEC.
17. All receptacle outlets located in a laundry area must be GFCI protected, Article 210.8(A)(1), NEC.
18. GFCI outlet for dishwasher may not be located behind the dishwasher. Article 210.52(B)(1), NEC. Flexible cord for dishwasher may not be longer than 6.5 ft. Article 422.1(B)(2), NEC.
19. At least one receptacle outlet must be installed at each perimeter countertop that is more than 24" in length, measured from the adjoining wall, Article 210.52(B)(3), NEC.
20. In both detached and detached garages with electric power there must be at least one receptacle outlet, or there must be at least one receptacle outlet installed for each car space, Article 210.55(6)(1), NEC.
21. Light fixtures in crawl spaces must be GFCI protected, Article 210.8(B), NEC.



PROPOSED MAIN LEVEL ELEC PLAN
SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS AND DESIGNS
ALL ARCHITECTURAL DOCUMENTS AND DESIGNS DEVELOPED BY OSOMOS ARCHITECTURE, INC. REMAIN OSOMOS ARCHITECTURE, INC. PROPERTY AND ARE TO BE USED ON THIS PROJECT ONLY UNDER THE TERMS OF THIS LETTER OF AGREEMENT. THE CLIENT SHALL NOT, WITHOUT WRITTEN APPROVAL OF OSOMOS ARCHITECTURE, INC., USE THE DOCUMENTS OR DESIGNS PROVIDED UNDER THIS LETTER OF AGREEMENT ON OTHER PROJECTS OR ASSIGN, SELL, OR TRANSFER THE SAME TO OTHERS.

DATE OF COOPERATION
RELEASE OF THESE DOCUMENTS ANTICIPATES FURTHER COOPERATION BETWEEN THE OWNER, THE CONTRACTOR AND THE ARCHITECT. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO COOPERATE BY A PARTY IN NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY OF ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.



HOLMES RESIDENCE
8217 WILLOW LANE
NIWOT, COLORADO 80503

osmosis art and architecture
290 SECOND AVE. | P.O. BOX 1024 | NIWOT, CO. 80544-1024
PHONE: 303-556-1717
www.osmosisarchitecture.com

ORIGINAL ISSUE:	DATE:
PERMIT	2/9/2022

CURRENT/REVISION ISSUE:	DATE:
2/9/2022	2/9/2022

NO.	REVISION TITLE:	DATE:
X	CITY COMMENTS	X

JOB #:	21028
DRAWN:	TJH/KMK
CHECKED:	AEP

E-1