



Community Planning & Permitting (CPP)

Courthouse Annex - 2045 13th Street - Boulder, Colorado 80302 - (303) 441-3930 - Fax 303-441-4856

Mailing Address: Post Office Box 471 - Boulder, Colorado 80306 www.bouldercounty.org

MEMORANDUM

TO: Agencies, Adjacent Property Owners And Interested Parties

FROM: Ian Brighton, Staff Planner

SUBJECT: Request to waive Site Plan Review at
7993 MEADOW LAKE ROAD, UNINCORPORATED, CO 80503

DOCKET: SPRW-22-0033: Wright Residence

DATE: 07/25/2022

The purpose of this memorandum is to inform interested parties that the above listed address is under consideration by the CPP Director for a waiver from the Site Plan Review process for:

Site Plan Review Waiver to construct a 1,909-square foot addition to a 2931-square-foot residence on a 0.85 acre parcel where the presumptive size maximum is 5,940 square feet.

The Site Plan Review (SPR) regulations allow for certain types of minor projects, which are likely to be less impacting, to be waived from the full SPR process that would normally be required to approve their construction. These projects are eligible for an expedited review called the "Site Plan Review Waiver (SPRW)," during which the SPR standards are analyzed in a shorter timeframe.

In the plains, nonresidential accessory structures that are less than 5,000 square feet are eligible for this expedited review; in the mountainous areas of the county, nonresidential accessory structures less than 2,000 square feet are eligible for this expedited review. Additionally, increases in residential floor area up to 2,000 sq.ft., which result in a total residential size on the parcel that is 125% or less of the median residential floor area for the defined neighborhood may be reviewed through this expedited review, as well as earthwork involving less than 500 cubic yards.

Waivers from SPR may be granted if the CPP Department does not find the proposal to be in conflict with the standards listed in Article 4-806 of the Boulder County Land Use Code. However, the SPRW determination may include written terms and conditions. The project, even if granted a waiver, is subject to the applicable building permit and building code requirements.

Article 4-802(C) requires that adjacent property owners be notified of the request to waive SPR. The CPP Department appreciates any comments that you may have regarding this proposal. Please direct any written or verbal comments to the CPP Department by **08/01/2022**. If you have any questions or comments, feel free to contact this office at planner@bouldercounty.org or (303) 441-3930.

cc: WRIGHT HENRY L & MARY C QUINN, Property Owner



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Use Only
Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name					
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent		<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning		<input type="checkbox"/> Road Name Change <input type="checkbox"/> Road/Easement Vacation <input type="checkbox"/> Site Plan Review <input checked="" type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP		<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:	
Location(s)/Street Address(es) 7993 MEADOWLAKE ROAD NIWOT, CO 80503							
Subdivision Name HEATHER HILLS - NIV							
Lot(s) 3	Block(s)	Section(s) 31	Township(s) 2N	Range(s) 69			
Area in Acres .85	Existing Zoning RR	Existing Use of Property RESIDENTIAL		Number of Proposed Lots 1			
Proposed Water Supply EXISTING			Proposed Sewage Disposal Method EXISTING				

Applicants:

Applicant/Property Owner HENRY WRIGHT		Email henrilw@comcast.net			
Mailing Address 7993 MEADOWLAKE ROAD					
City NIWOT	State CO	Zip Code 80503	Phone 303-588-5093		
Applicant/Property Owner/Agent/Consultant WAUGH & ASSOCIATES		Email waworld@aol.com			
Mailing Address P.O. Box 498					
City NIWOT	State CO	Zip Code 80544	Phone 720-444-7602		
Agent/Consultant		Email			
Mailing Address					
City	State	Zip Code	Phone		

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval.

I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner 	Printed Name HENRY WRIGHT	Date 7-4-22
Signature of Property Owner 	Printed Name MARY QUINN	Date 7-4-22

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.

Boulder County Land Use Department

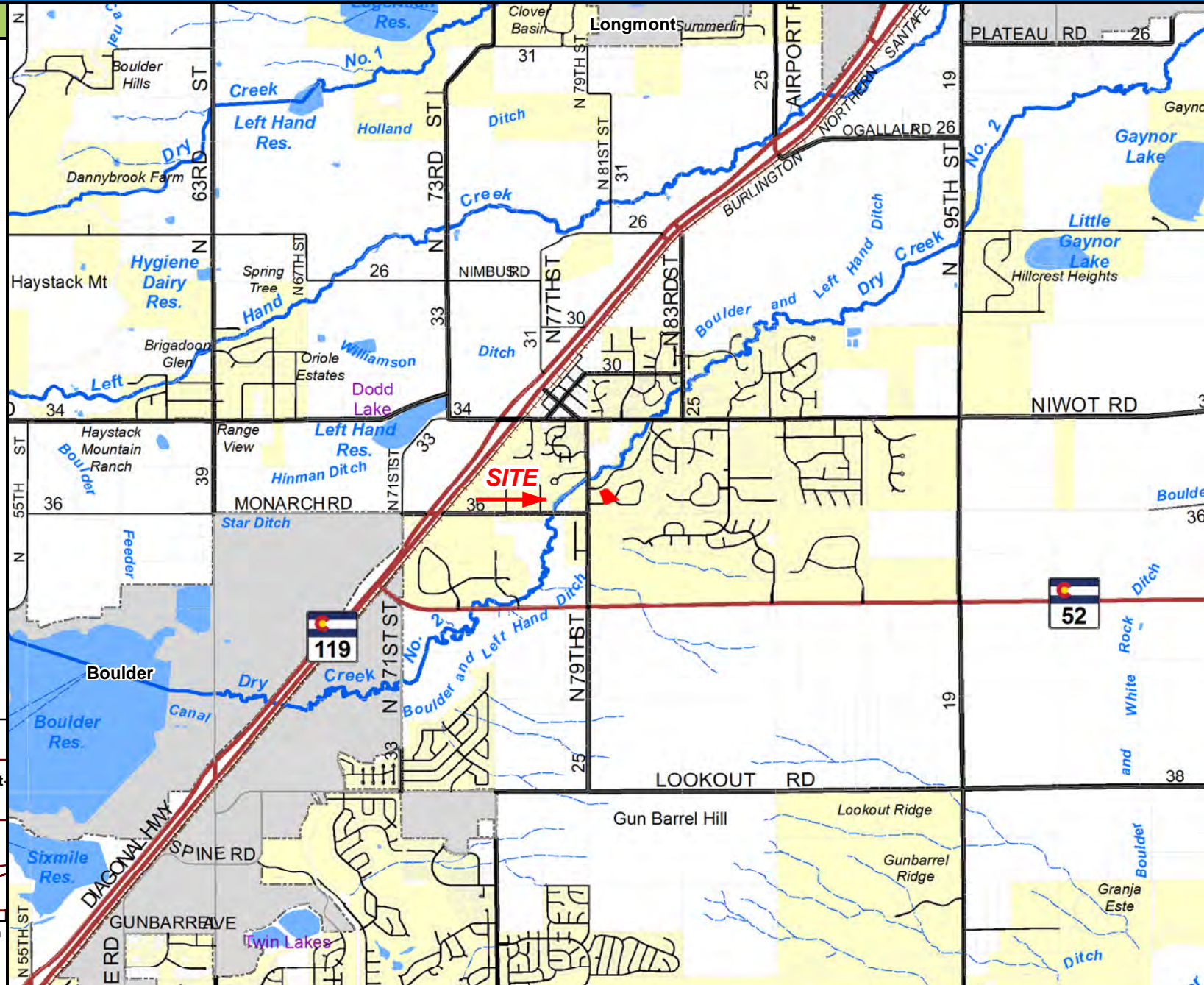
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org/lu

Vicinity

7993 MEADOW LAKE RD

Legend

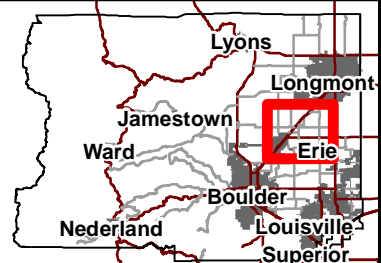
 Subject Parcel



0 4,000 Feet

NORTH 1 inch = 4,000 feet

Area of Detail Date: 9/18/2019



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Location

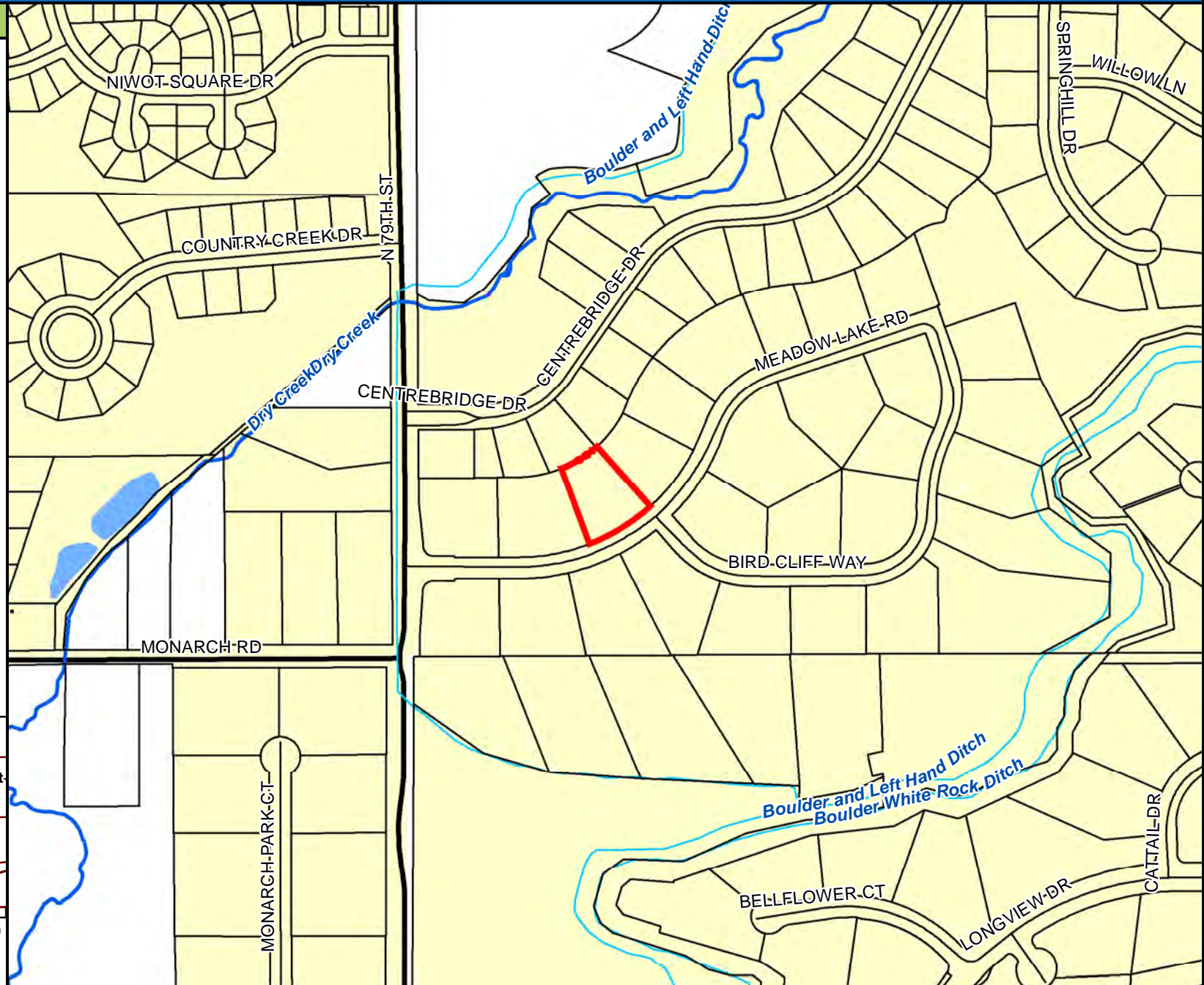
7993 MEADOW LAKE RD

Legend

 Subject Parcel

Subdivisions

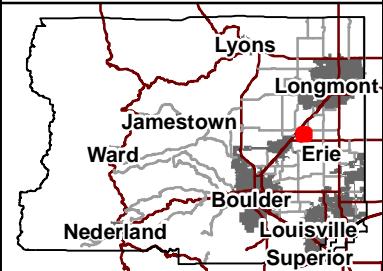
 Subdivisions



0 400 Feet

NORTH 1 inch = 400 feet

Area of Detail Date: 9/18/2019



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Boulder County Land Use Department

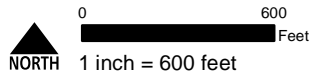
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org/lu

Aerial

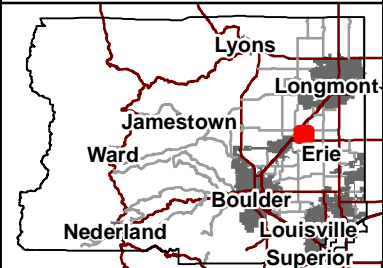
7993 MEADOW LAKE RD

Legend

 Subject Parcel



Area of Detail Date: 9/18/2019



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Aerial

7993 MEADOW LAKE RD

Legend

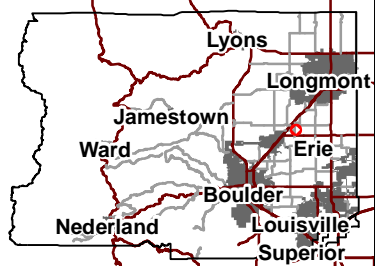
 Subject Parcel



0 100 Feet

NORTH 1 inch = 100 feet

Area of Detail Date: 9/18/2019



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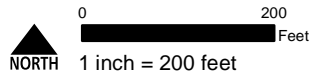
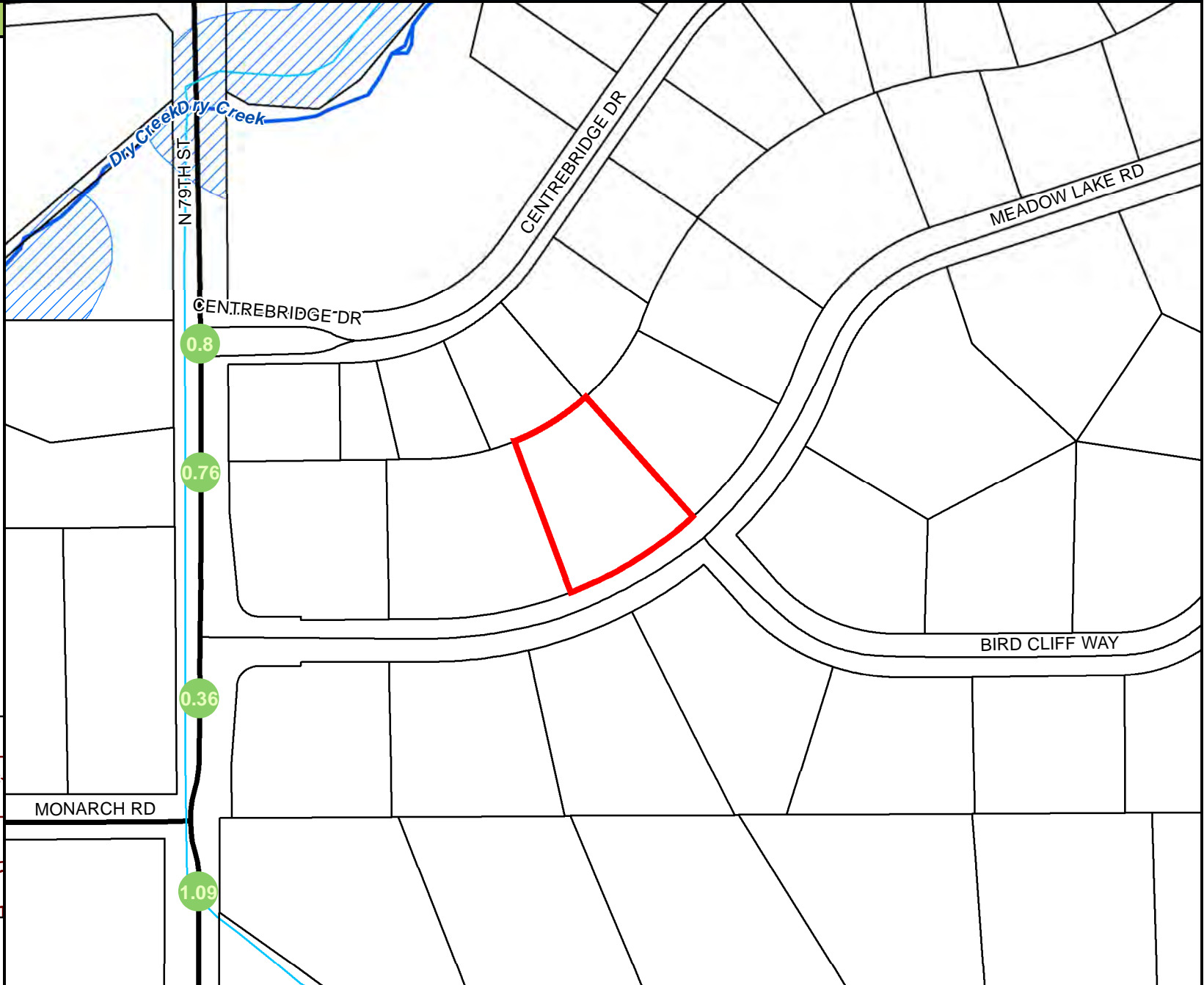
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Comprehensive Plan

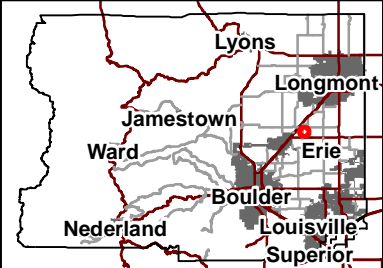
7993 MEADOW LAKE RD

Legend

-  Subject Parcel
-  Riparian Areas



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Zoning

7993 MEADOW LAKE RD

Legend

 Subject Parcel

Major Road Setbacks


 90 feet

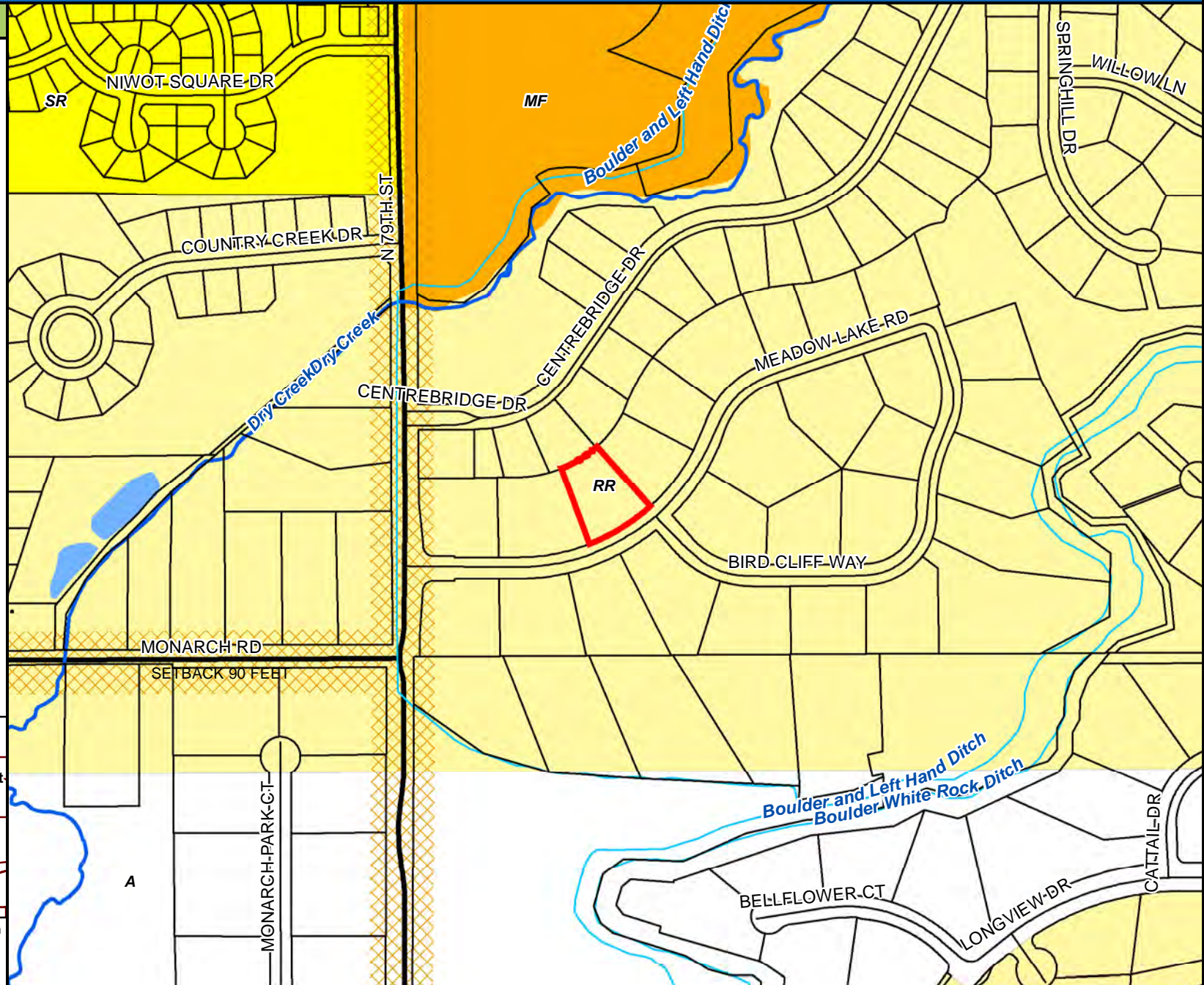
Zoning Districts

 Agricultural

 Multiple Family

 Rural Residential

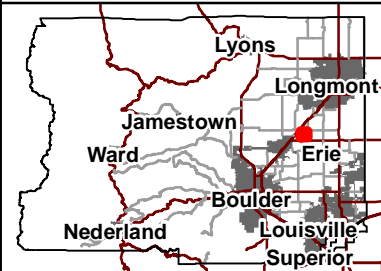
 Suburban Residential



0 400 Feet

NORTH 1 inch = 400 feet

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Boulder County Land Use Department

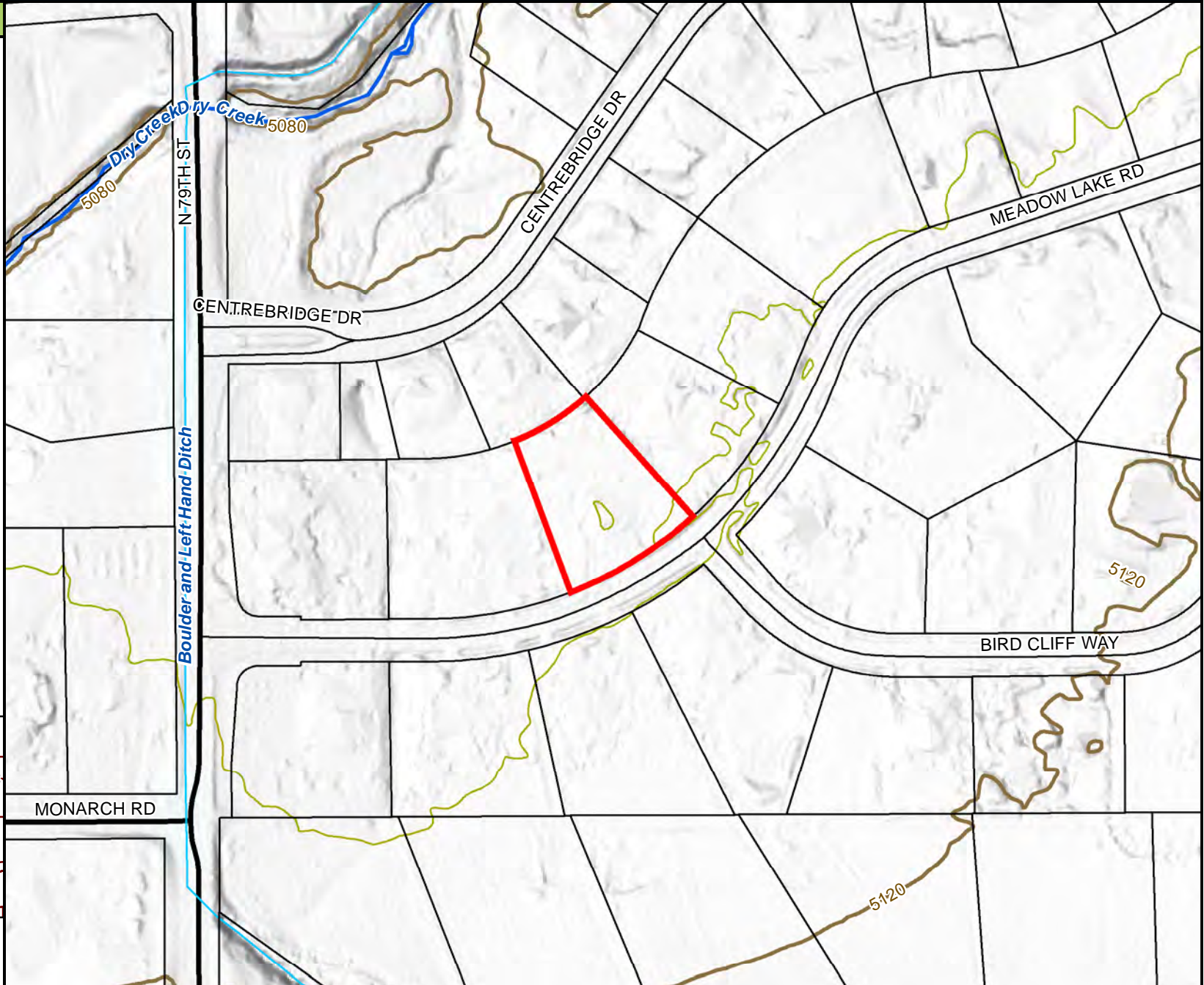
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org/lu

Elevation Contours

7993 MEADOW LAKE RD

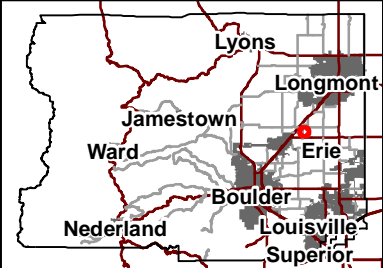
Legend

-  Subject Parcel
-  Contours 40'
-  Contours 20'



0 200
Feet
NORTH 1 inch = 200 feet

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Boulder County Land Use Department

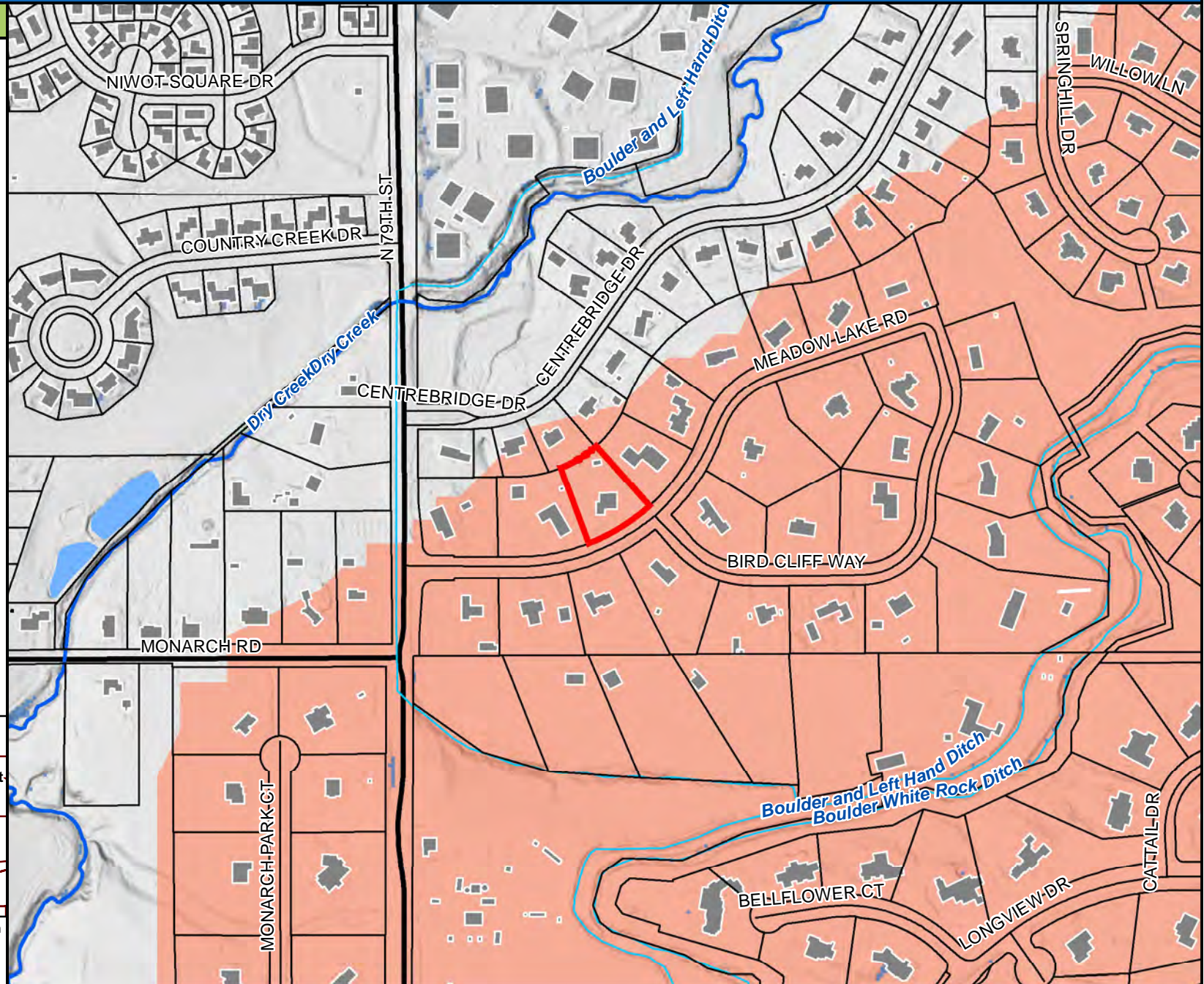
2045 13th Street, Boulder, CO 80302 303-441-3930 www.bouldercounty.org/lu

Geologic Hazards

7993 MEADOW LAKE RD

Legend

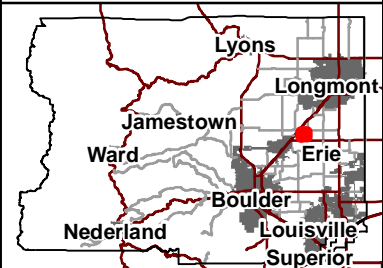
-  Subject Parcel
-  Landslide high susceptibility area
-  High Swelling Soil Potential



0 400 Feet

NORTH 1 inch = 400 feet

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Boulder County Land Use Department

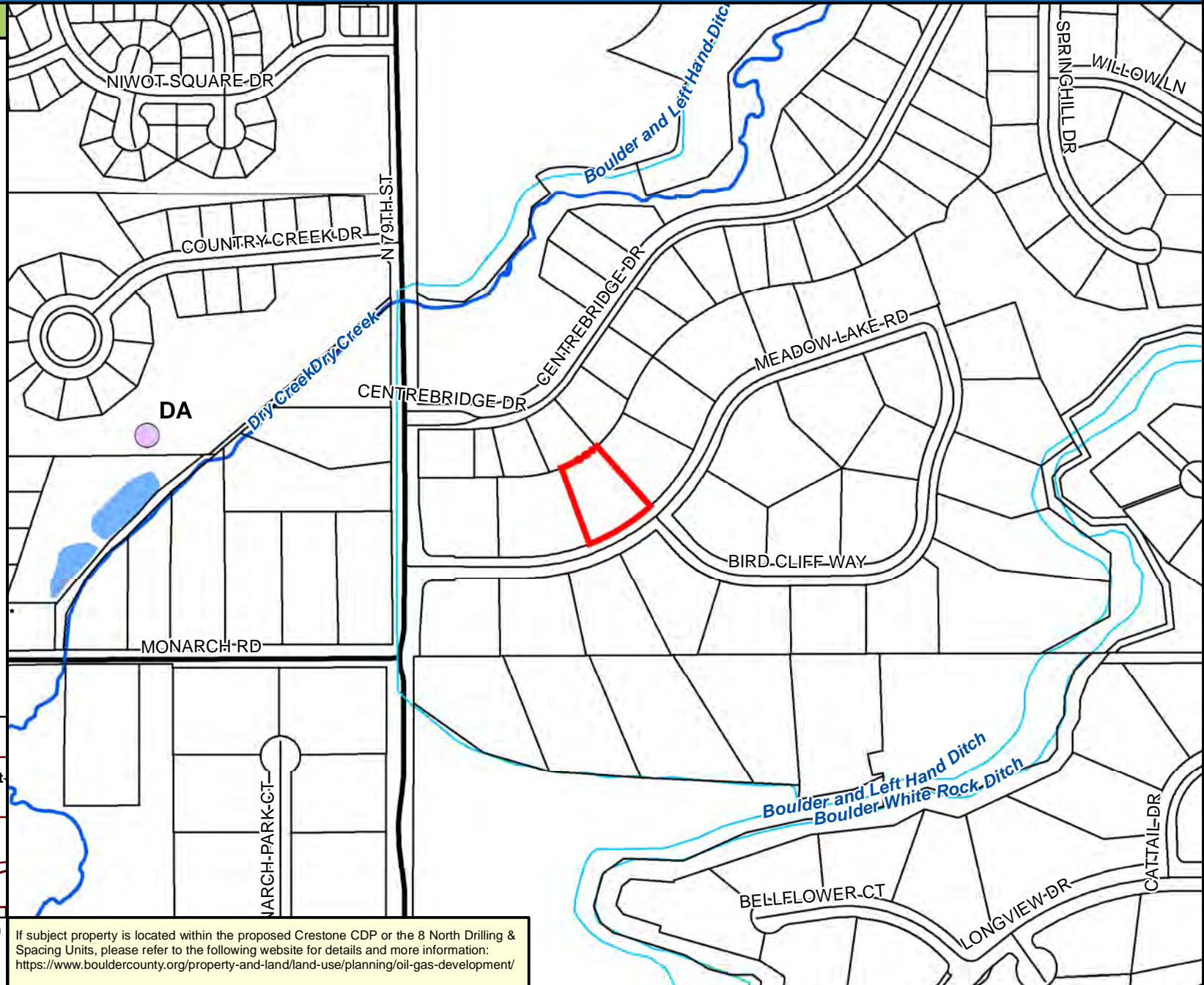
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Oil & Gas Facilities

7993 MEADOW LAKE RD

Legend

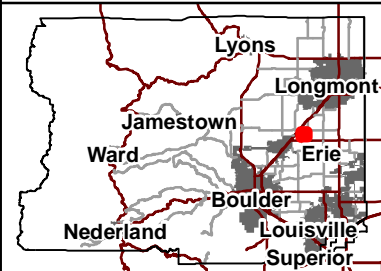
-  Subject Parcel
- Oil & Gas Well**
-  Dry & Abandoned (DA)



0 400 Feet

NORTH 1 inch = 400 feet

Area of Detail Date: 9/18/2019



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If subject property is located within the proposed Crestone CDP or the 8 North Drilling & Spacing Units, please refer to the following website for details and more information: <https://www.bouldercounty.org/property-and-land/land-use/planning/oil-gas-development/>

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Public Lands & CE's

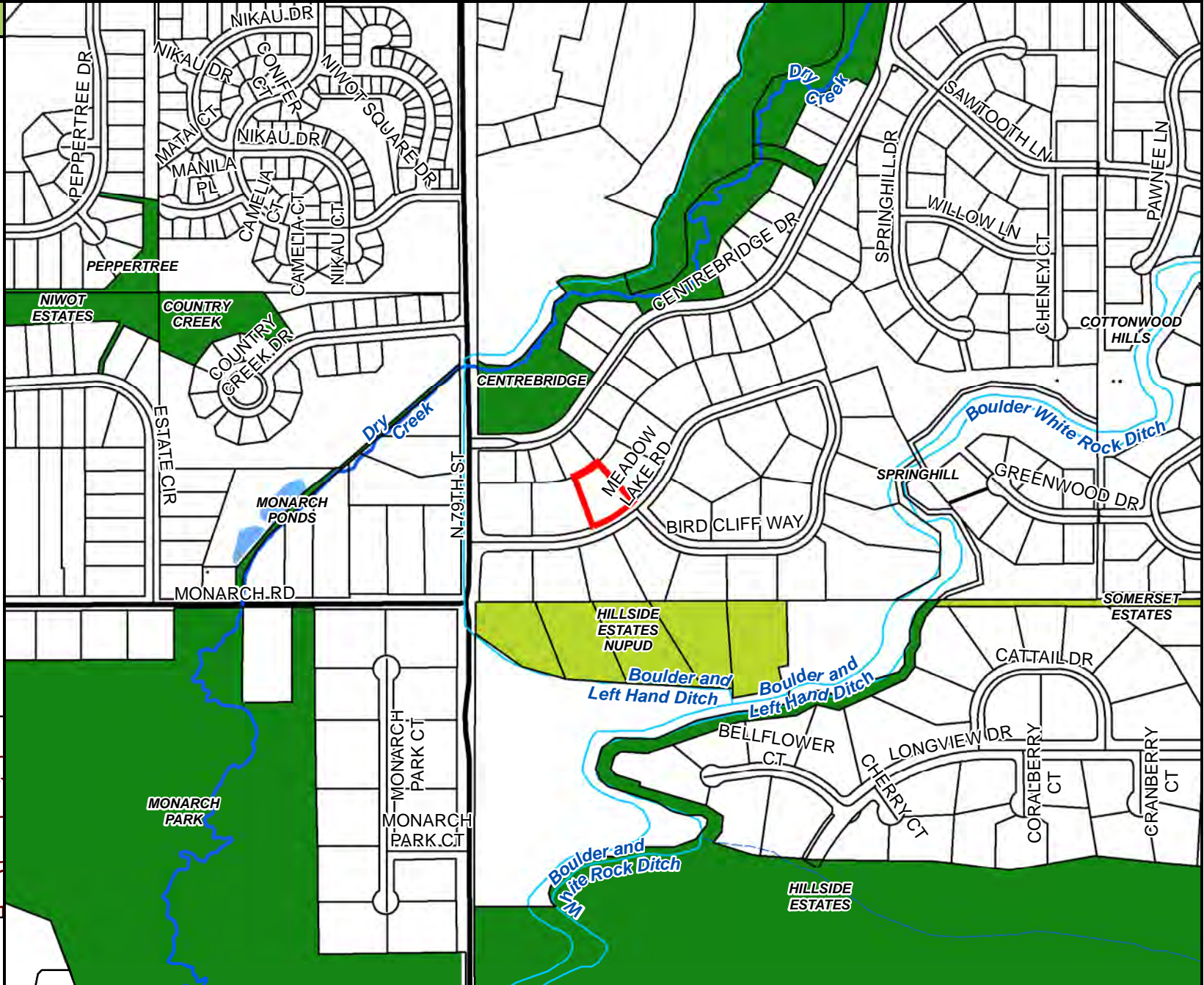
7993 MEADOW LAKE RD

Legend

 Subject Parcel

Boulder County Open Space

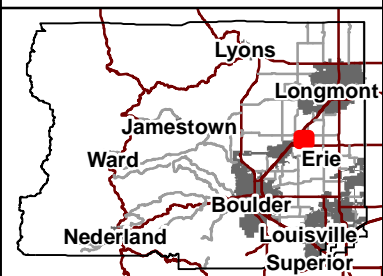
-  County Open Space
-  County Conservation Easement



0 600 Feet

NORTH 1 inch = 600 feet

Area of Detail Date: 9/18/2019



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Site Plan Review Waiver Fact Sheet

The applicant(s) is/are required to complete each section of this Fact Sheet is required to be completed, even if the information is duplicated elsewhere in the application. Completed Fact Sheets cut application review time, and assist staff in expediting determinations. Please make duplicates of this page if the project involves more than two structures. Please note: If a project is granted a SPR Waiver but the building permit floor area calculations result in new floor area exceeding 2,000 sq. ft., then the project will trigger a full SPR prior to issuance of a building permit.

Structure #1 Information

Type of Structure: (e.g. residence, studio, barn, etc.)		RESIDENCE		
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		3604 sq. ft.	Deconstruction: 0	3604 sq. ft.
Are new floor areas being proposed where demolition will occur? <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)				
Proposed Floor Area (New Construction Only)			<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)
Basement:	- sq. ft.	- sq. ft.	- sq. ft.	
First Floor:	164 sq. ft.		164 sq. ft.	Exterior Wall Material BRICK
Second Floor:	963 sq. ft.		963 sq. ft.	Exterior Wall Color RED
Garage: <input type="checkbox"/> Detached <input checked="" type="checkbox"/> Attached	782 sq. ft.		782 sq. ft.	Roofing Material WOOD SHAKES
*Covered Porch:				Roofing Color BROWN
Total:	1909 sq. ft.		1909 sq. ft.	Total Bedrooms 5

Project Identification:

Project Name: WRIGHT RESIDENCE
Property Address/Location: 793 MEADOWLAKE RD.
Current Owner: HENRY WRIGHT
Size of Property in Acres: .85

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. Covered porch area that is attached to the principal structure is not included (see Article 18-131A). The shaded area on the diagram indicates the area counted as square feet.



Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)				
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)			Deconstruction:	
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)				
Proposed Floor Area (New Construction Only)			<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)
Basement:				
First Floor:				Exterior Wall Material
Second Floor:				Exterior Wall Color
Garage: <input type="checkbox"/> Detached <input type="checkbox"/> Attached				Roofing Material
*Covered Porch:				Roofing Color
Total:				Total Bedrooms

Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

*See Article 18-131A for definition of covered porch.

Floor Area

Please Note: If a project is granted a SPR Waiver but the building permit floor area calculations result in new floor area exceeding 2,000 sq. ft., then the project will trigger a full SPR prior to issuance of a building permit.

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application. If more room is needed, feel free to attach a separate sheet.

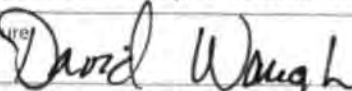
SEE ATTACHED

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature: 	Print Name: DAVID WAUGH	Date: 7-2-2022
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Earth Work and Grading Worksheet:

	Cut	Fill	Subtotal
Driveway and Parking Areas	30	20	50
Berm(s)			
Other Grading			
Subtotal			Box 1
* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.			
	Cut	Fill	Total
Foundation	45	42	
Material cut from foundation excavation to be removed from the property			

Excess Material will be Transported to the Following Location:

Excess Materials Transport Location:

7993 Meadow Lake Road Narrative

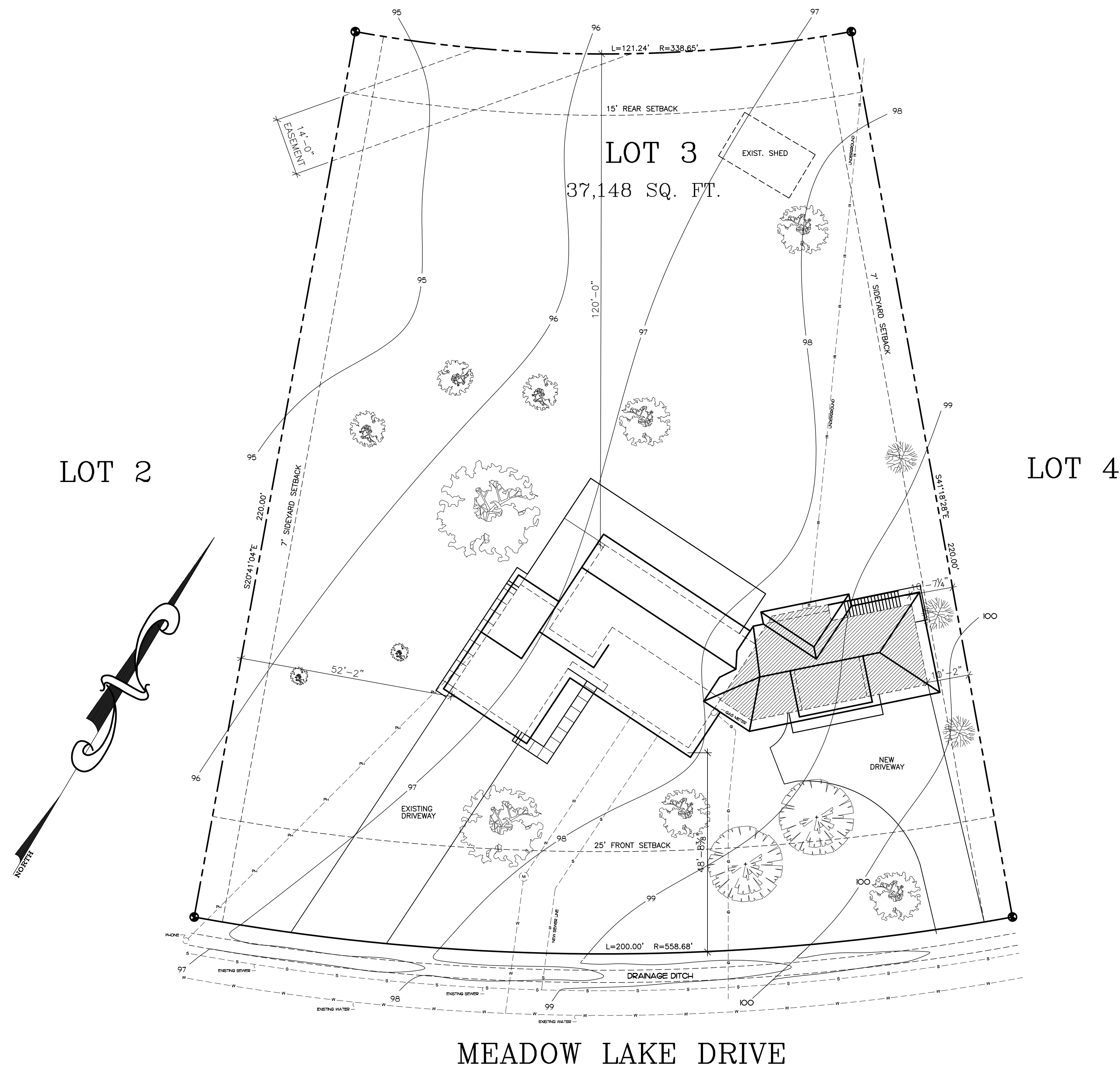
This submission is for a proposed residence addition located at 7993 Meadowlake Road in the Heather Hills Subdivision, which has large approximately one acre lots on a mostly flat terrain.

Based on the neighborhood, we have a presumed size maximum of 5940 square feet. The subdivision has a variety of home sizes varying from 2707 sq. ft. to 6239 sq. ft. We are proposing a two story residence addition with an on grade 3 car garage that is set to the back of the existing residence. The addition would be 1127 square feet with a 782 sq. ft. attached garage. we are requesting a Site Plan Review Waiver based on the following reasons,

- 1) The visibility of our addition is very minimal from the street, since it matches the existing residence in size and character. and due to the amount of mature landscaping on the property, which will remain, masking the existing residence from surrounding properties and from the street.
- 2) The addition will create an existing total footprint of 2201 sq. ft. and 403 sq. ft. garage with a new finished square footage of 1127 square feet, plus 782 sq. ft. garage, for a total of 4513 square feet, which is well below our 125% Neighborhood Median of 5940 square feet. With the entire upper level stacked directly above the main level, it will blend with the surrounding neighborhood character.
- 3) The location of the proposed addition will not impose an undue burden on public services and infrastructure. All services are currently in place. The subdivision was designed to accommodate a residence of this size.
- 4) The new addition will avoid natural hazards such as expansive soil, subsiding soils, or any areas of landslides, or mud falls, or unstable

slopes. The lot has been shown to be stable due to existing landscaping which will remain.

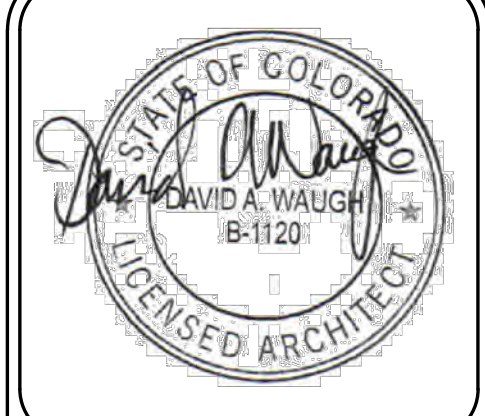
- 5) Wildfire mitigation will follow Boulder County regulations regarding surrounding vegetation clearances around the new building.
- 6) The new addition will not alter historic drainage patterns or flow rates since we are building in the same area as the subdivision has been planned.
- 7) The development will avoid all natural ecosystems or environmental features such as riparian corridors and wetland areas, plant communities and wildlife habitats as it is in an established subdivision.
- 8) The development will not be on any agricultural lands of any significance as identified in the Comprehensive Plan.
- 9) The new addition will not be near any archaeological resources as per the Comprehensive Plan or the Historic Sites Survey of Boulder County.
- 10) The development will not have a significant negative impact on the surrounding area, due to the existing vegetation and adding on to the residence that already exists.
- 11) The location of the new development will be compatible with the natural topography and existing vegetation, as all existing landscaping will remain and a new driveway curb cut will enter at the side of the lot.
- 12) Runoff, erosion, and sedimentation will be controlled with hay bales and diverters during construction so as not to have a significant adverse impact on the surrounding area.
- 13) The development will not be near any Natural Landmarks or Natural protected areas.
- 14) The new addition will not cause significantly greater impact due to the existing mature landscaping that surrounds the property.
- 15) The proposed residence will be consistent with the Comprehensive Plan and all applicable intergovernmental agreements affecting land use or development, and this code.



SITE PLAN
SCALE: 1/16"=1'-0"

LEGAL

ADDRESS- 7993 MEADOW LAKE DR.
LOT 3
HEATHER HILLS
TOWN OF NIWOT
COUNTY OF BOULDER
STATE OF COLORADO



REVISIONS:

DRAWN BY: T. WAUGH

SHEET INDEX

A0	SITE PLAN
A1	MAIN LEVEL FLOOR PLAN
A2	UPPER LEVEL FLOOR PLAN
A3	ELEVATIONS
A4	ELEVATIONS
A5	SECTIONS
A6	LIGHTING DETAILS
A7	EX. MAIN LEVEL FLOOR PLAN
A8	EX. UPPER LEVEL FLOOR PLAN
A9	EXISTING ELEVATIONS
A10	EXISTING ELEVATIONS
SI.1	FOUNDATION PLAN
SI.2	SECOND LEVEL FRAMING
SI.3	ROOF FRAMING
S2.1	GENERAL STRUCTURAL NOTES

GENERAL NOTES:

DEVELOPER, OWNER, AND/OR GENERAL CONTRACTOR ARE TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND SPECIFICATIONS ON THESE DRAWINGS PRIOR TO, AND DURING CONSTRUCTION. ANY DISCREPANCIES, OMISSIONS, OR ERRORS EXISTING IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CORRECTION PRIOR TO COMMENCING WORK. THE FAILURE TO NOTIFY THE ARCHITECT WITHIN TEN (10) DAYS FROM THE DATE OF THE DRAWINGS SHALL CONSTITUTE THE FINAL ACCEPTANCE OF THE DRAWINGS. ANY CHANGES MADE AFTER THE ACCEPTANCE OF THE DRAWINGS SHALL RELEASE THE ARCHITECT FROM ANY FUTURE RESPONSIBILITY.

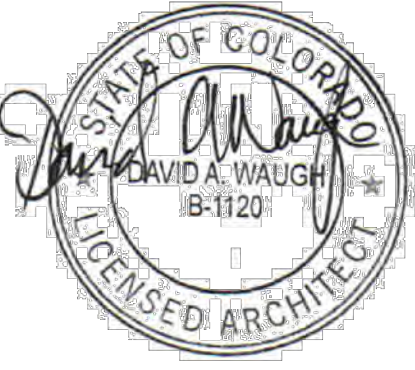
ALL WORK SHALL COMPLY WITH, AND BE IN ACCORDANCE WITH, MINIMUM CONSTRUCTION STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE NATIONAL ELECTRIC AND PLUMBING CODES, AND ALL APPLICABLE STATE AND LOCAL CODES.

ALL WORKMANSHIP AND INSTALLATIONS SHALL BE AS ESTABLISHED BY GOOD AND NORMAL BUILDING PRACTICE AND MANUFACTURER'S INSTALLATION REQUIREMENTS.

SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
7993 MEADOW LAKE DRIVE
NIWOT, COLORADO
waugh & associates
architecture • planning • solar design
po box 488 • niwot, colorado • 80544 • 720-494-7602
www.waughworld.net
e-mail info@waughworld.net

SHEET NO.: **A0** DATE: 3 APRIL 2021

SITE PLAN



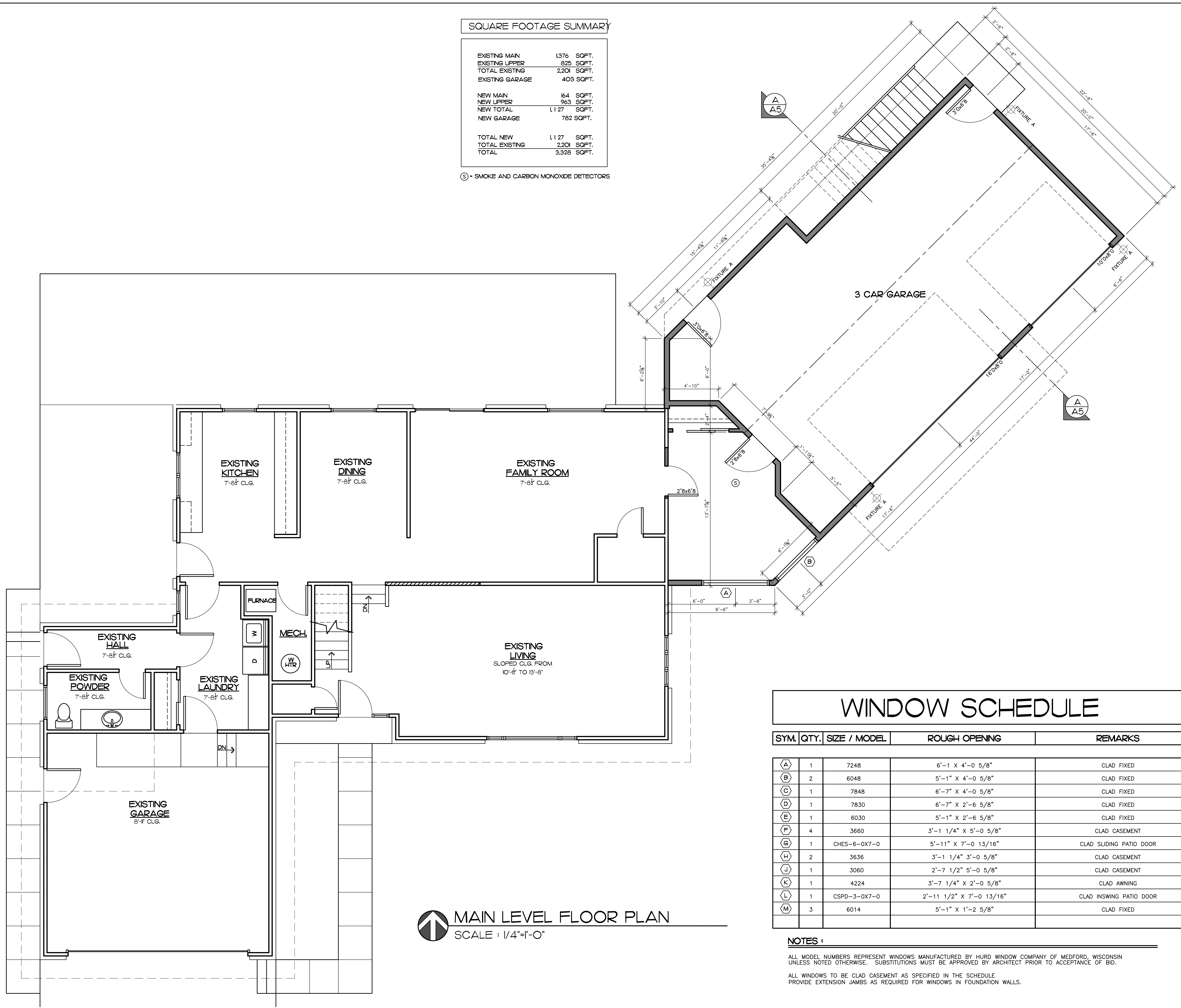
REVISIONS:

DRAWN BY: T. WAUGH

SQUARE FOOTAGE SUMMARY

EXISTING MAIN	1376 SOFT.
EXISTING UPPER	825 SOFT.
TOTAL EXISTING	2,201 SOFT.
EXISTING GARAGE	403 SOFT.
NEW MAIN	154 SOFT.
NEW UPPER	963 SOFT.
NEW TOTAL	1,117 SOFT.
NEW GARAGE	782 SOFT.
TOTAL NEW	1,117 SOFT.
TOTAL EXISTING	2,201 SOFT.
TOTAL	3,328 SOFT.

Ⓢ • SMOKE AND CARBON MONOXIDE DETECTORS



WINDOW SCHEDULE

SYM.	QTY.	SIZE / MODEL	ROUGH OPENING	REMARKS
(A)	1	7248	6'-1" X 4'-0 5/8"	CLAD FIXED
(B)	2	6048	5'-1" X 4'-0 5/8"	CLAD FIXED
(C)	1	7848	6'-7" X 4'-0 5/8"	CLAD FIXED
(D)	1	7830	6'-7" X 2'-6 5/8"	CLAD FIXED
(E)	1	6030	5'-1" X 2'-6 5/8"	CLAD FIXED
(F)	4	3660	3'-1 1/4" X 5'-0 5/8"	CLAD CASEMENT
(G)	1	CHES-6-0X7-0	5'-11" X 7'-0 13/16"	CLAD SLIDING PATIO DOOR
(H)	2	3636	3'-1 1/4" X 3'-0 5/8"	CLAD CASEMENT
(J)	1	3060	2'-7 1/2" X 5'-0 5/8"	CLAD CASEMENT
(K)	1	4224	3'-7 1/4" X 2'-0 5/8"	CLAD AWNING
(L)	1	CSPD-3-0X7-0	2'-11 1/2" X 7'-0 13/16"	CLAD INSWING PATIO DOOR
(M)	3	6014	5'-1" X 1'-2 5/8"	CLAD FIXED

NOTES :

ALL MODEL NUMBERS REPRESENT WINDOWS MANUFACTURED BY HURD WINDOW COMPANY OF MEDFORD, WISCONSIN UNLESS NOTED OTHERWISE. SUBSTITUTIONS MUST BE APPROVED BY ARCHITECT PRIOR TO ACCEPTANCE OF BID.

ALL WINDOWS TO BE CLAD CASEMENT AS SPECIFIED IN THE SCHEDULE. PROVIDE EXTENSION JAMBS AS REQUIRED FOR WINDOWS IN FOUNDATION WALLS.

MAIN LEVEL FLOOR PLAN
SCALE : 1/4"=1'-0"

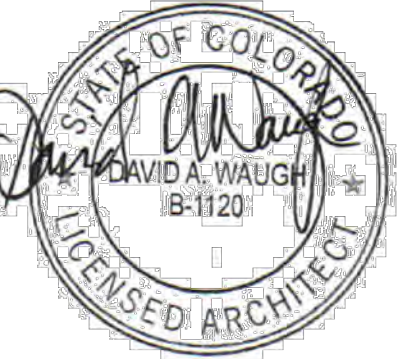
SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
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SHEET NO.: **A1** DATE: 3 APRIL 2021

MAIN LEVEL FLOOR PLAN



REVISIONS:

DRAWN BY: T. WALUGH

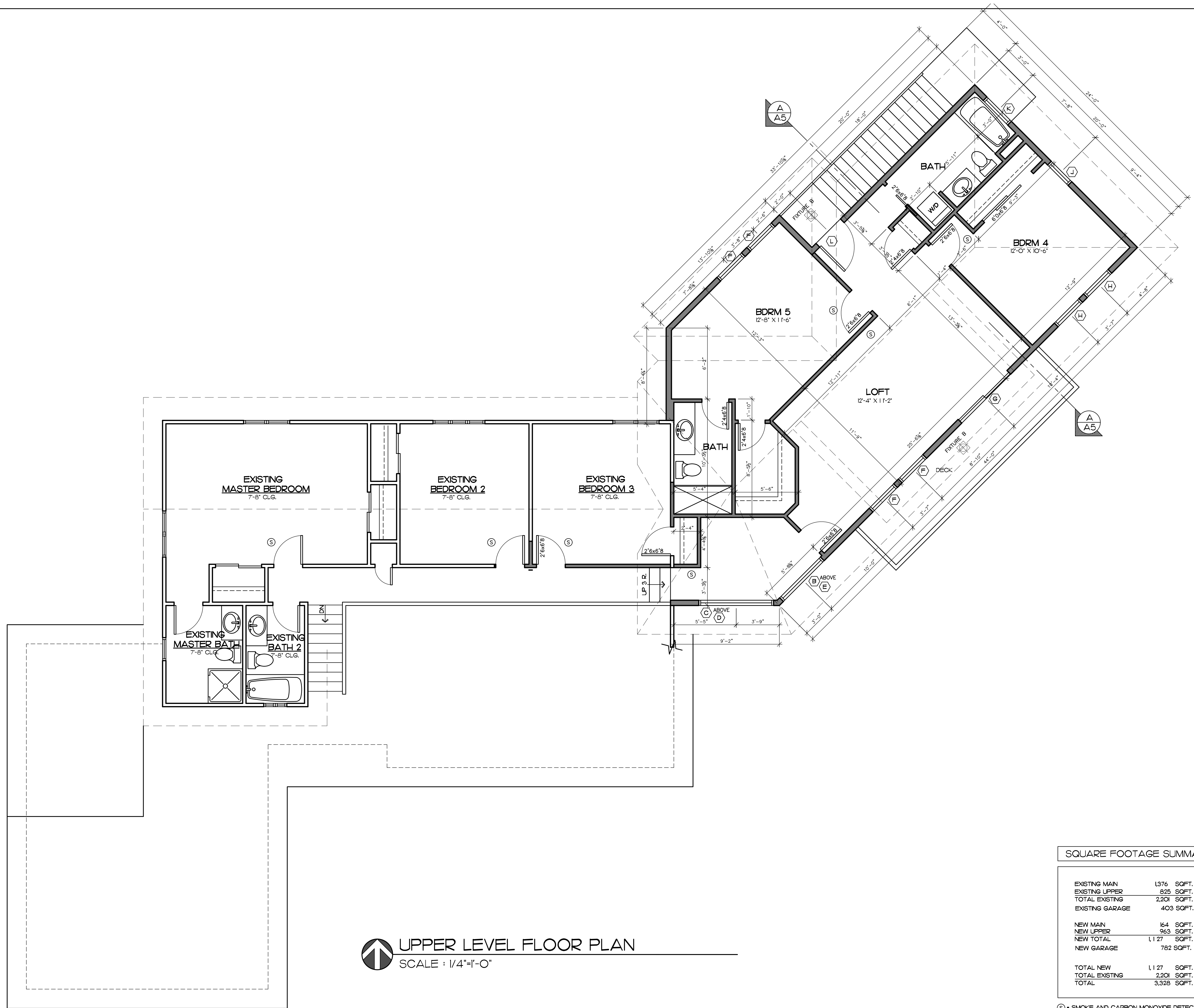
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SHEET NO.: **A2** DATE: 3 APRIL 2021

UPPER LEVEL FLOOR PLAN

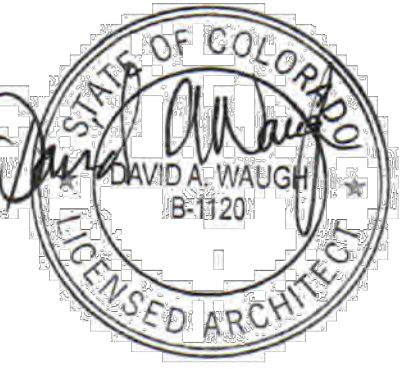


UPPER LEVEL FLOOR PLAN
 SCALE: 1/4"=1'-0"

SQUARE FOOTAGE SUMMARY

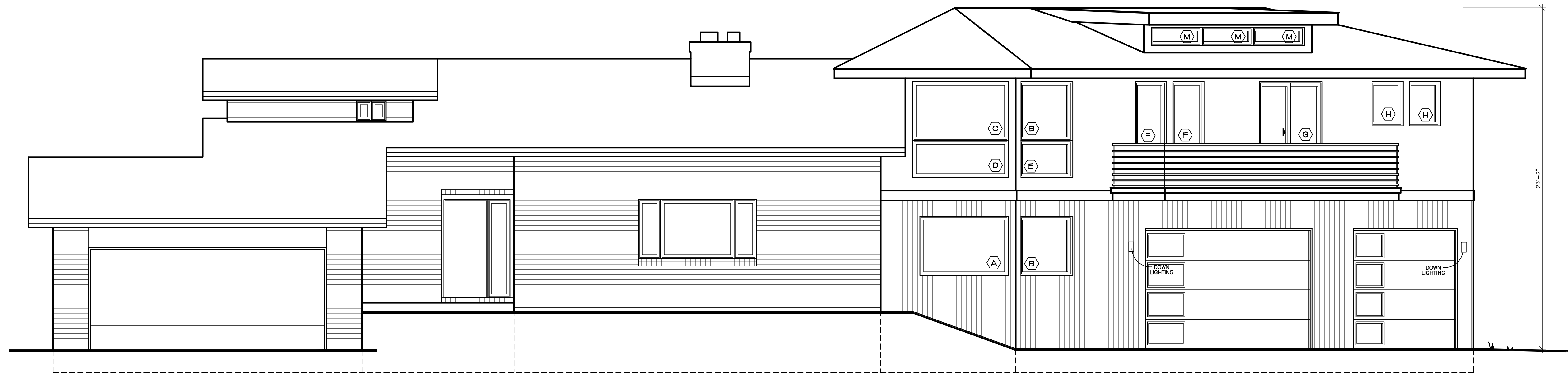
EXISTING MAIN	1376 SQFT.
EXISTING UPPER	825 SQFT.
TOTAL EXISTING	2201 SQFT.
EXISTING GARAGE	403 SQFT.
NEW MAIN	164 SQFT.
NEW UPPER	963 SQFT.
NEW TOTAL	1127 SQFT.
NEW GARAGE	782 SQFT.
TOTAL NEW	1127 SQFT.
TOTAL EXISTING	2201 SQFT.
TOTAL	3328 SQFT.

Ⓢ - SMOKE AND CARBON MONOXIDE DETECTORS



REVISIONS:

DRAWN BY: T. WAUGH



SOUTH ELEVATION
SCALE : 1/4"=1'-0"



WEST ELEVATION
SCALE : 1/4"=1'-0"

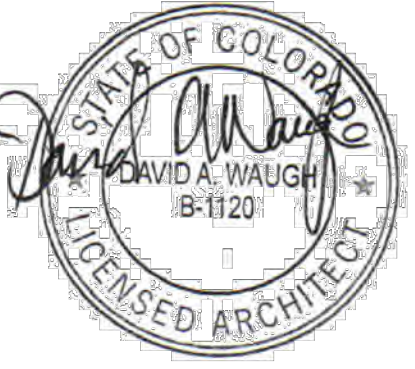
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SHEET NO.:
3 APRIL 2021

A3

ELEVATIONS



REVISIONS:

DRAWN BY: T. WAUGH



EAST ELEVATION
SCALE : 1/4"=1'-0"



NORTH ELEVATION
SCALE : 1/4"=1'-0"

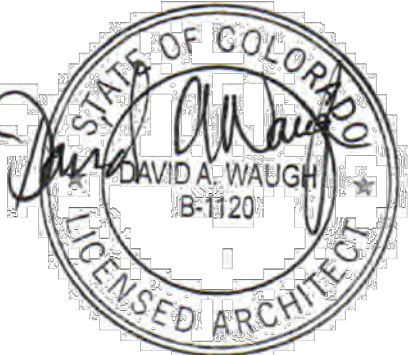
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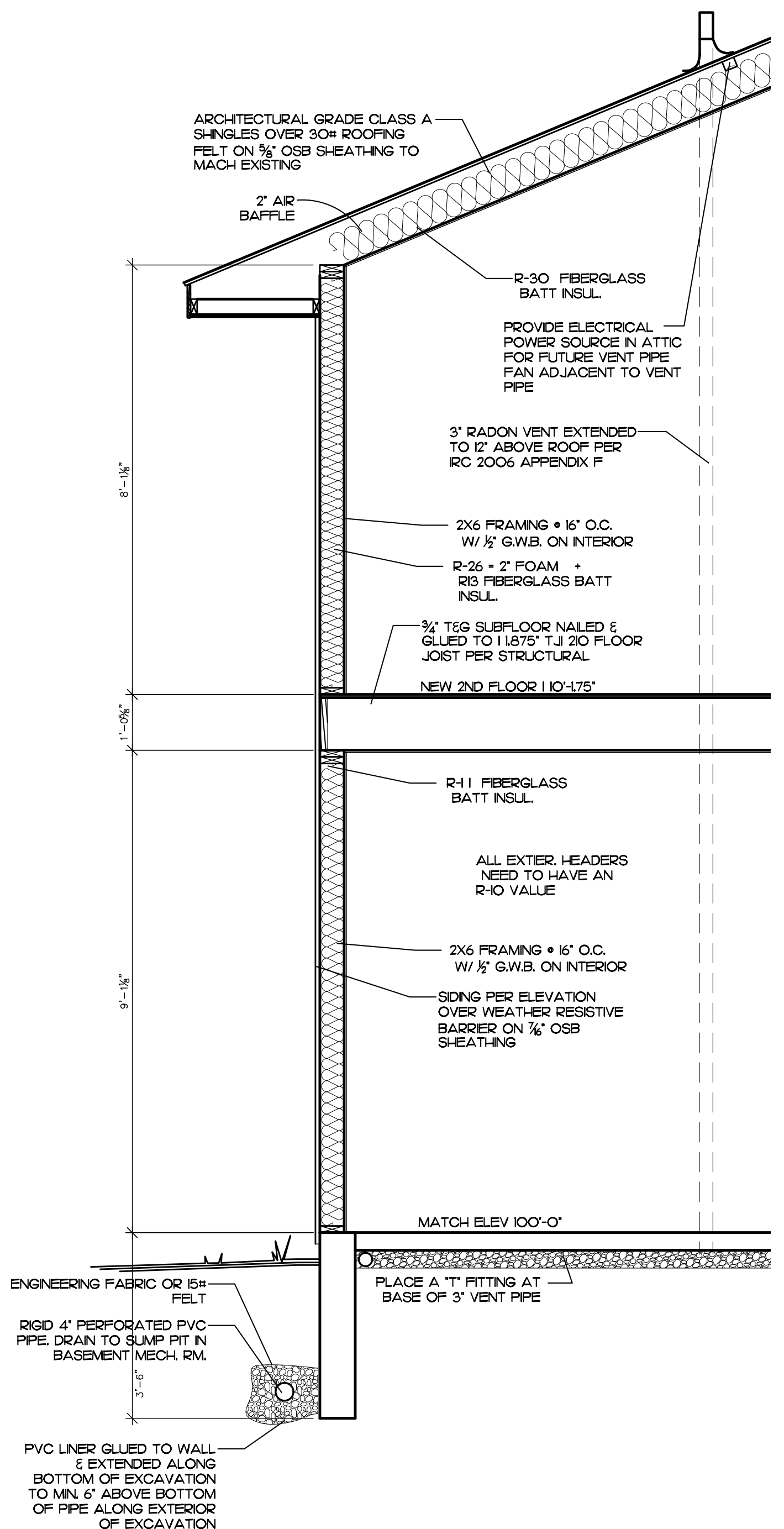
SHEET NO.: A4
DATE: 3 APRIL 2021

ELEVATIONS

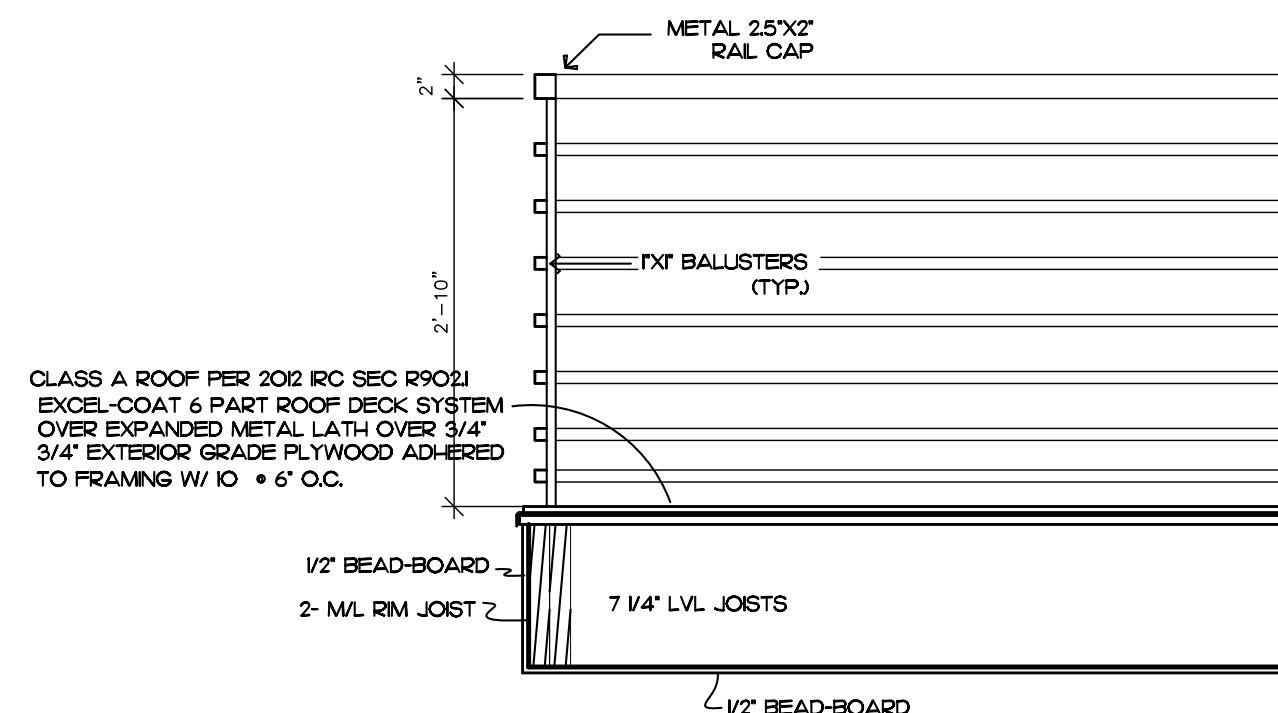


REVISIONS:

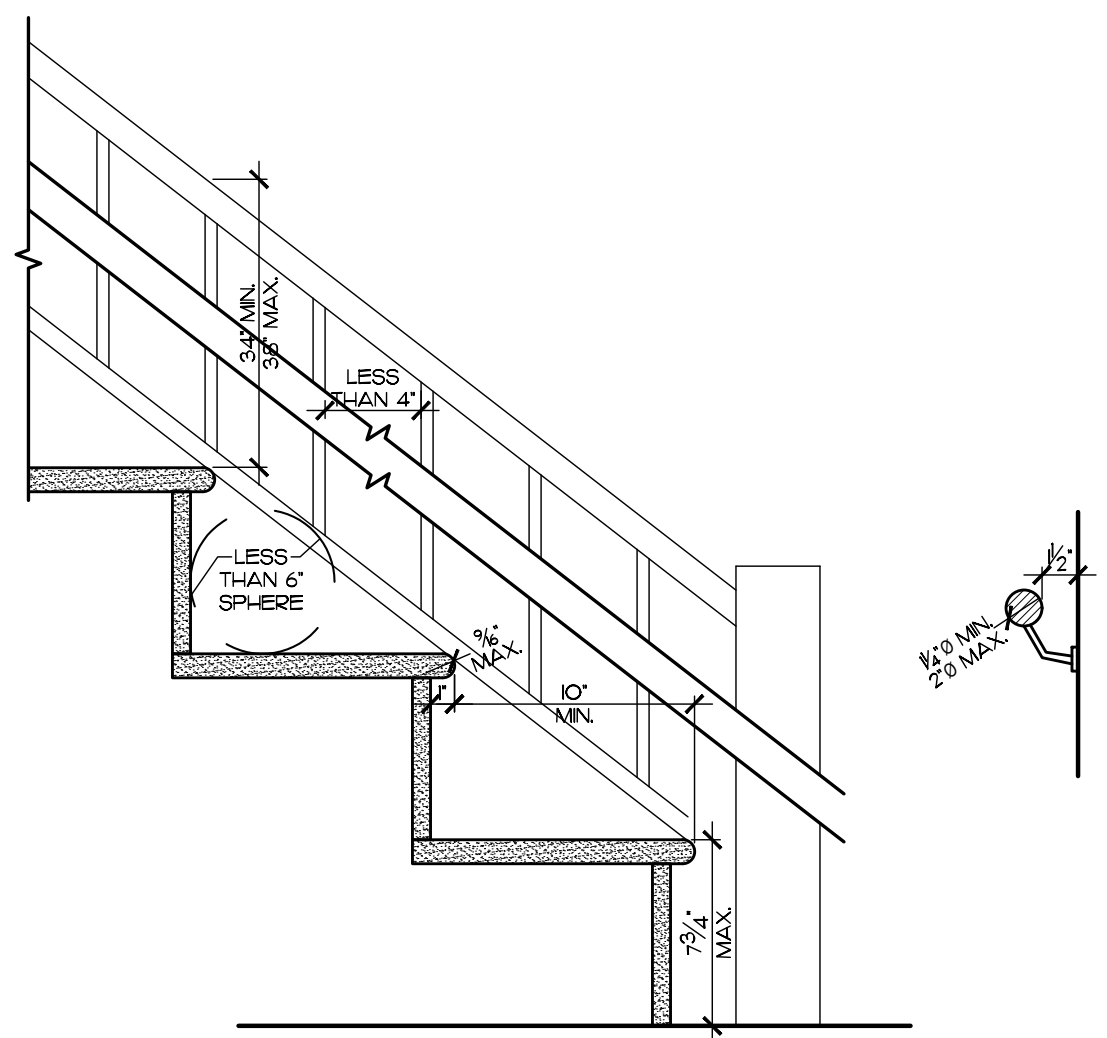
DRAWN BY: T. WAUGH



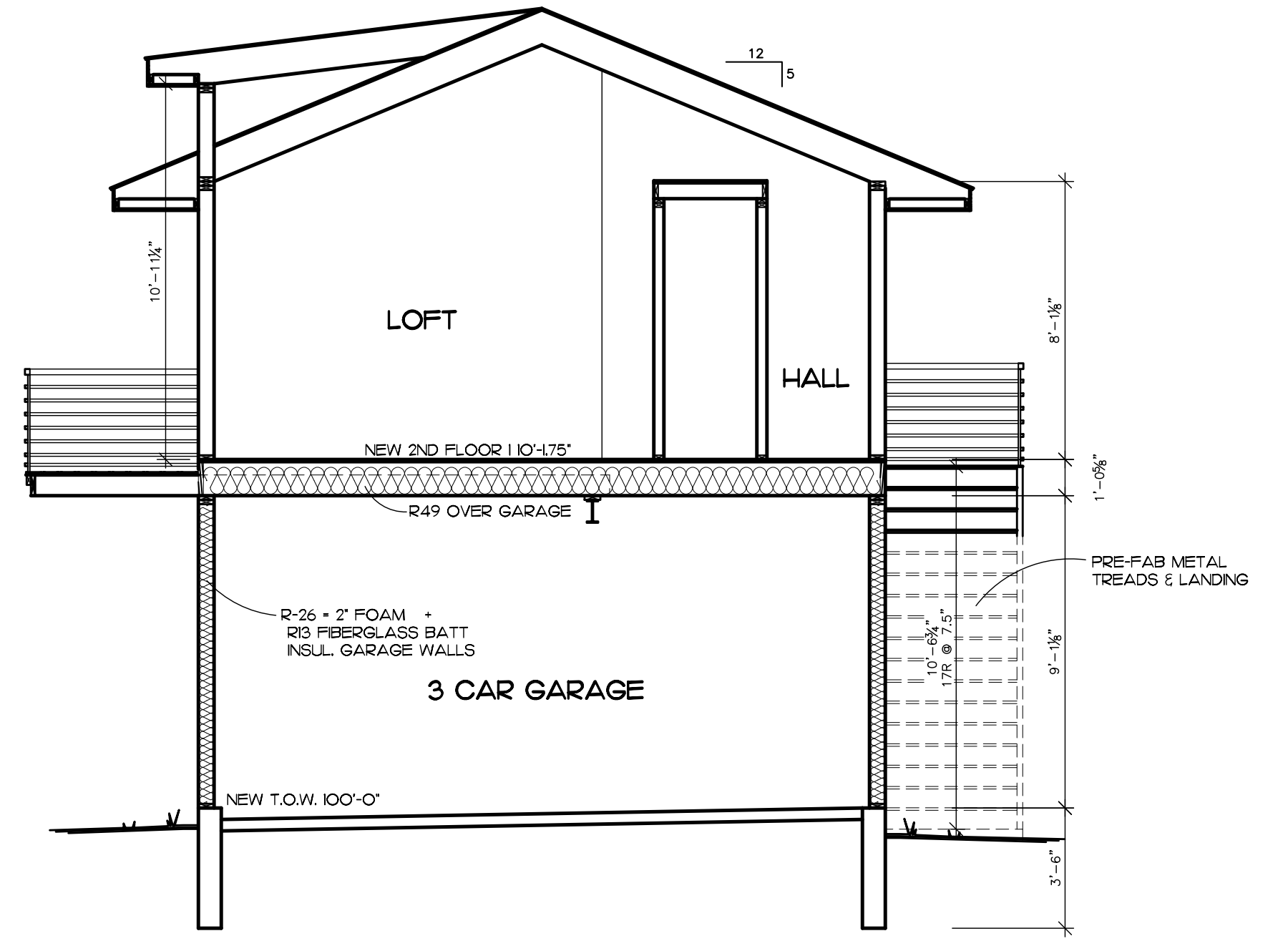
TYP. WALL SECTION
SCALE : 1/2"=1'-0"



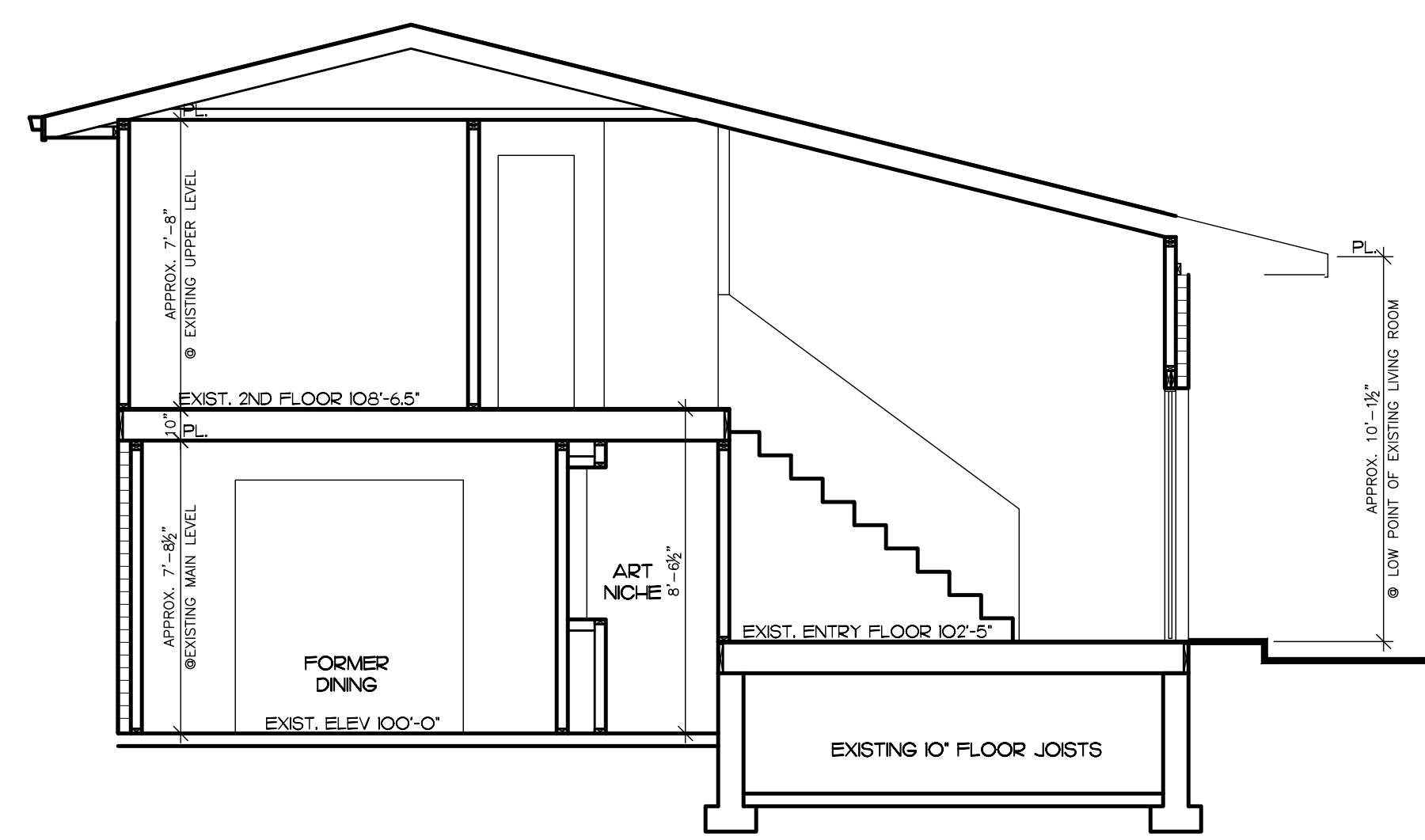
DECK DETAIL
SCALE : 3/4"=1'-0"



STAIR DETAILS
SCALE : 1 1/2"=1'-0"



SECTION AA
SCALE : 1/4"=1'-0"



EXISTING SECTION
SCALE : 1/4"=1'-0"

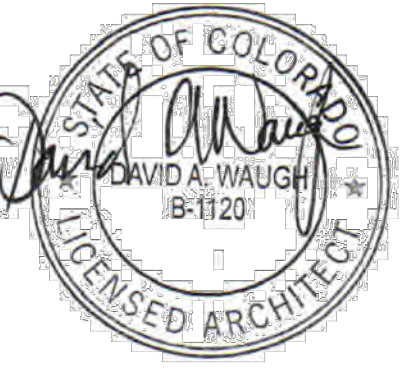
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SHEET NO.: A5
DATE: 3 APRIL 2021

SECTION



REVISIONS:

DRAWN BY: T. WAUGH

7/17/13 Front Range Lighting

Front Range Lighting
333 1st Avenue Suite 1
Longmont, CO 80501
Website: www.frontrangelighting.com

Phone: 303-684-0080
Fax: 303-684-0685
Email: amy@frontrangelighting.com



One Light Outdoor

Item ID: **214729**
Finish: **Titanium**
Height: **7.25"**
Width/Dia.: **8.00"**
Price: **\$226.00**



A modern collection of solid aluminum fixtures offered in a unique combination of contemporary styles, including sleek wall lanterns with a dual light source and decorative reflector. Luna also offers chic pocket wall sconces and compact ceiling mounts that are ideal for indoor or out.

Bulbs					Additional Information	
Qty.	Type	Base	Source	Watt	Incl.	
1	GU24	Fluorescent	18	No		Etched 8" dia 120V Parcel 5lb

Features
Safety Rating: **UL/cUL**
Safety Listing: **Wet**

Please be advised that all prices and information shown here are subject to verification by our showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.


FIXTURE B

www.frontrangelighting.com/print_item_detail.asp?item=358930&noimg=0&locationid=0&comment=&previmg=358930 1/1

7/17/13 Front Range Lighting

Front Range Lighting
333 1st Avenue Suite 1
Longmont, CO 80501
Website: www.frontrangelighting.com


Phone: 303-684-0080
Fax: 303-684-0685
Email: amy@frontrangelighting.com



Comments: **FIXTURE A**

Dark Sky Outdoor Wall Lantern

Item ID: **883650**
Finish: **White**
Height: **7.00"**
Width/Dia.: **5.00"**
Price: **\$74.00**



Neighbor friendly exterior wall cylinder with white finish over aluminum. Meets dark sky requirements.

Bulbs					Additional Information	
Qty.	Type	Base	Source	Watt	Incl.	
1	BR-30	Medium	65	No		Extension: 8" Chain: 6.5" Wire: 6.5"

Features
Safety Rating: **UL/cUL**
Safety Listing: **Wet**

Please be advised that all prices and information shown here are subject to verification by our showroom personnel. In the event of a discrepancy, we reserve the right to make any corrections necessary.

FIXTURE A

www.frontrangelighting.com/print_item_detail.asp?item=116724&noimg=0&locationid=0&comment=FIXTURE A&previmg=116724 1/1

SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
7993 MEADOW LAKE DRIVE
NIWOT, COLORADO

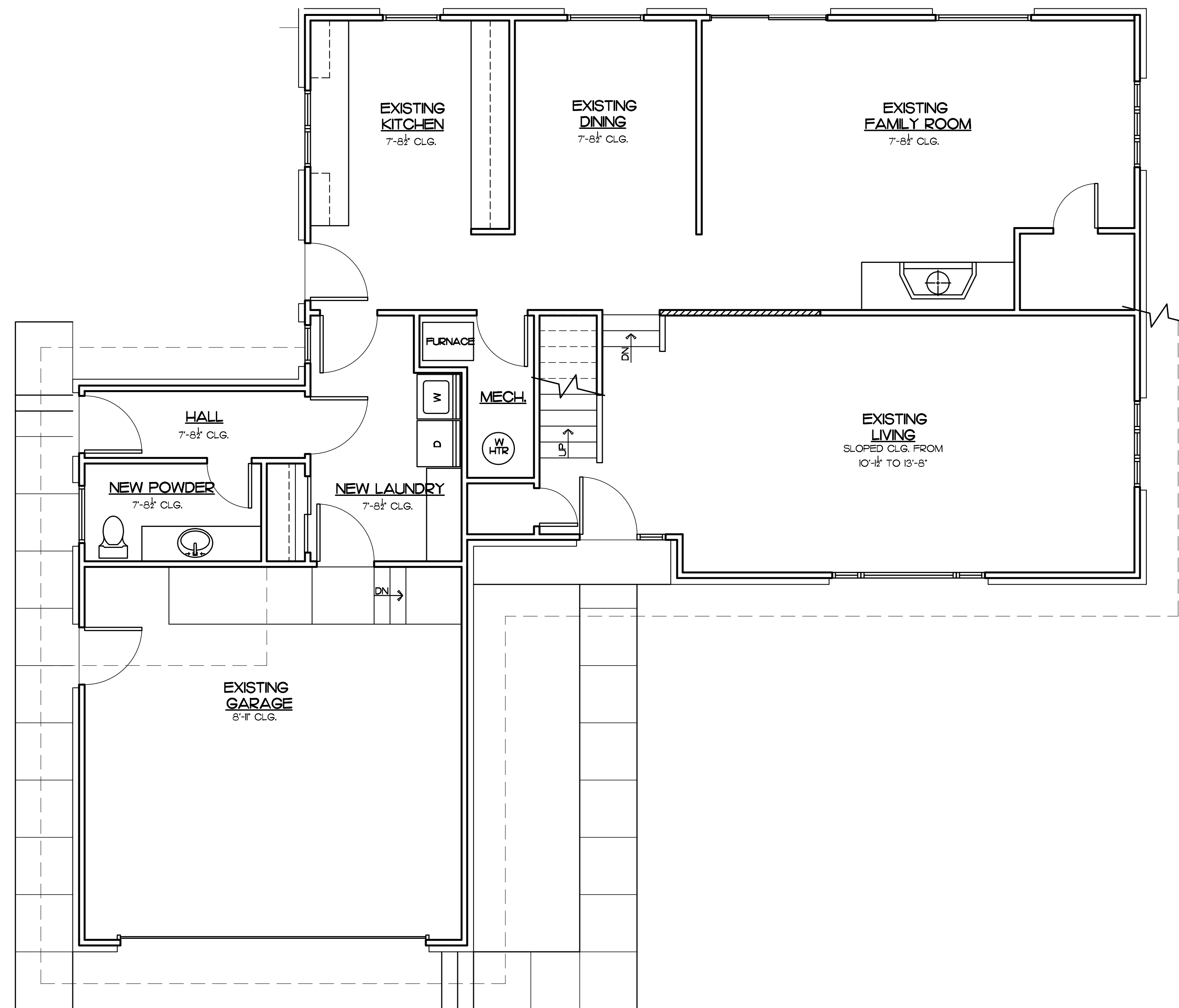
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www.waughworld.net
e-mail info@waughworld.net

SHEET NO.: DATE:
3 APRIL 2021

A6

LIGHTING
FIXTURES



EXISTING MAIN LEVEL FLOOR PLAN
SCALE : 1/4"=1'-0"

SQUARE FOOTAGE SUMMARY

EXISTING MAIN LEVEL	1,376 SQFT.
UPPER LEVEL	825 SQFT.
TOTAL	2,201 SQFT.
GARAGE	403 SQFT.

SQUARE FOOTAGE SUMMARY

REVISIONS:

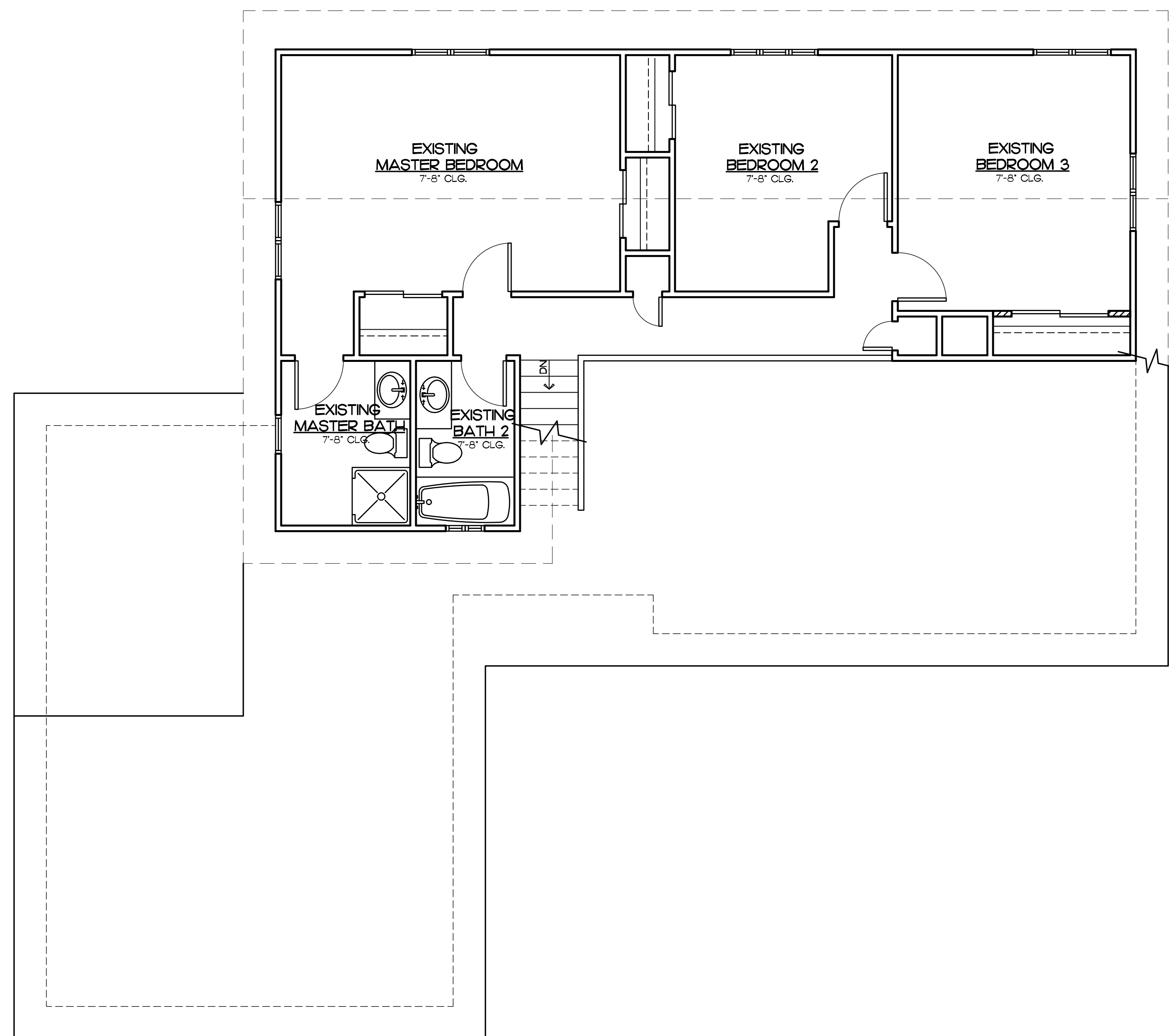
DRAWN BY: T. WALUGH

SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
7993 MEADOW LAKE DRIVE
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www.waughworld.net
e-mail info@waughworld.net

SHEET NO.: **A7** DATE: 3 APRIL 2020

EXISTING MAIN LEVEL FLOOR PLAN



UPPER MAIN LEVEL FLOOR PLAN
SCALE : 1/4"=1'-0"

SQUARE FOOTAGE SUMMARY

EXISTING	
MAIN LEVEL	1,376 SQFT.
UPPER LEVEL	825 SQFT.
TOTAL	2,201 SQFT.
GARAGE	403 SQFT.

SQUARE FOOTAGE SUMMARY

REVISIONS:

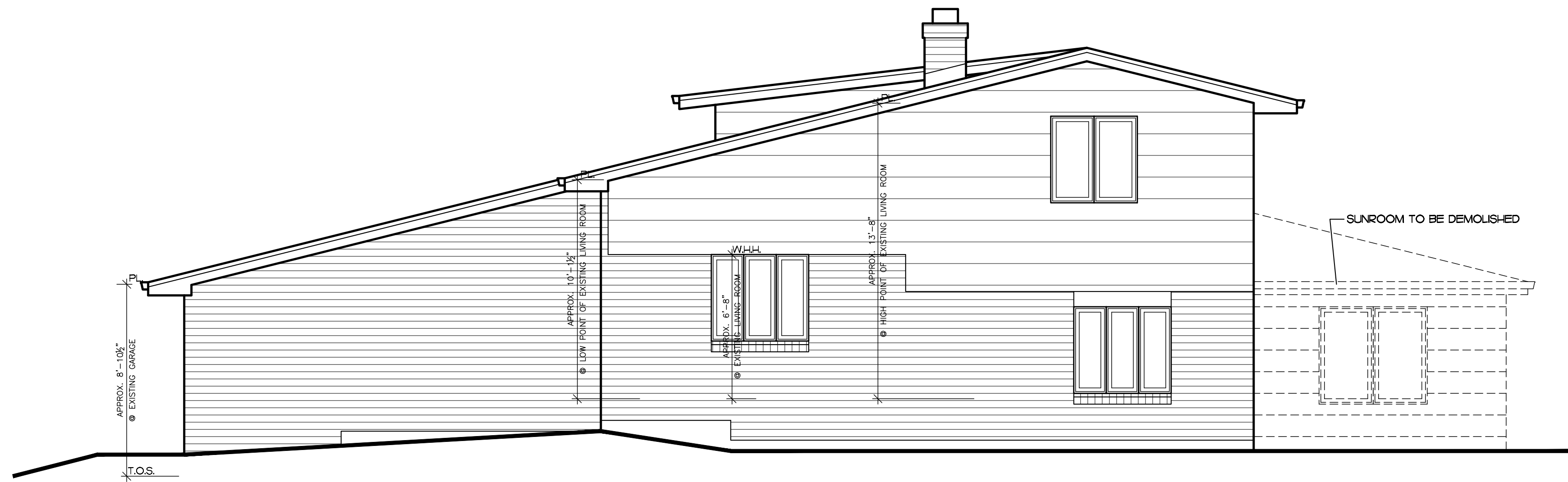
DRAWN BY: T. WALUGH

SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
7993 MEADOW LAKE DRIVE
NIWOT, COLORADO

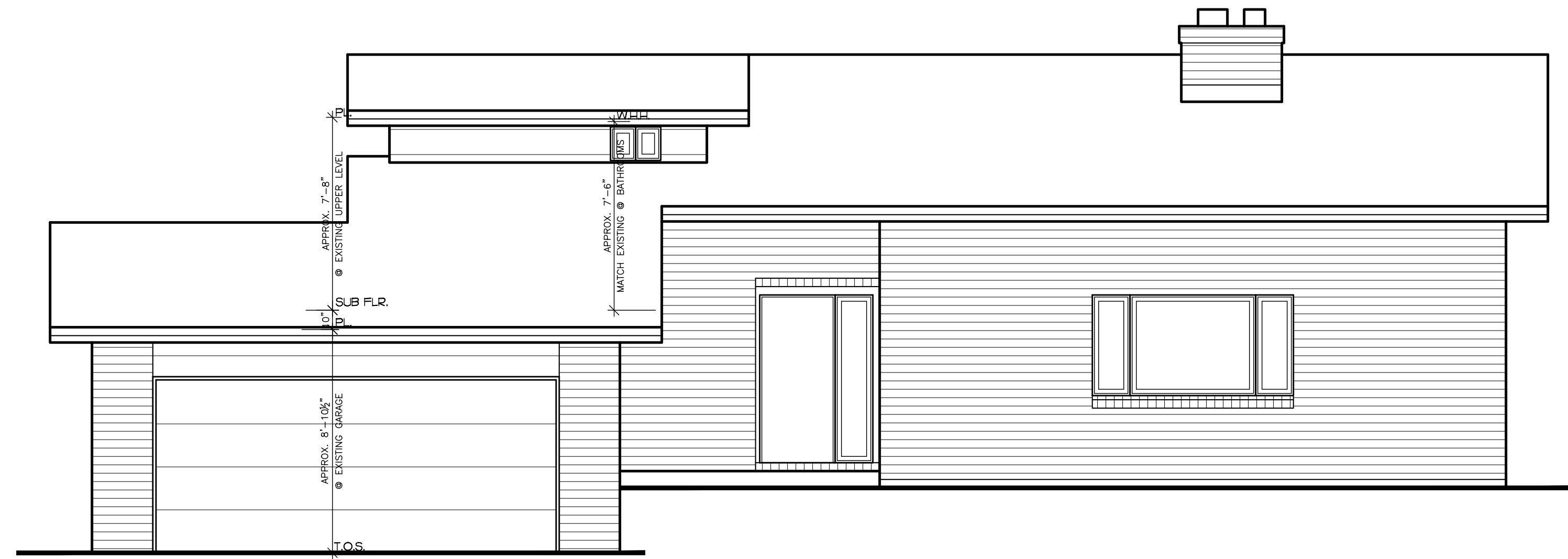
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www.waughworld.net
e-mail info@waughworld.net

SHEET NO.: **A8** DATE: 3 APRIL 2020

UPPER LEVEL FLOOR PLAN



EXISTING EAST ELEVATION
SCALE : 1/4"=1'-0"



EXISTING SOUTH ELEVATION
SCALE : 1/4"=1'-0"

SHEET NO.: **A** DATE: 3 APRIL 2020

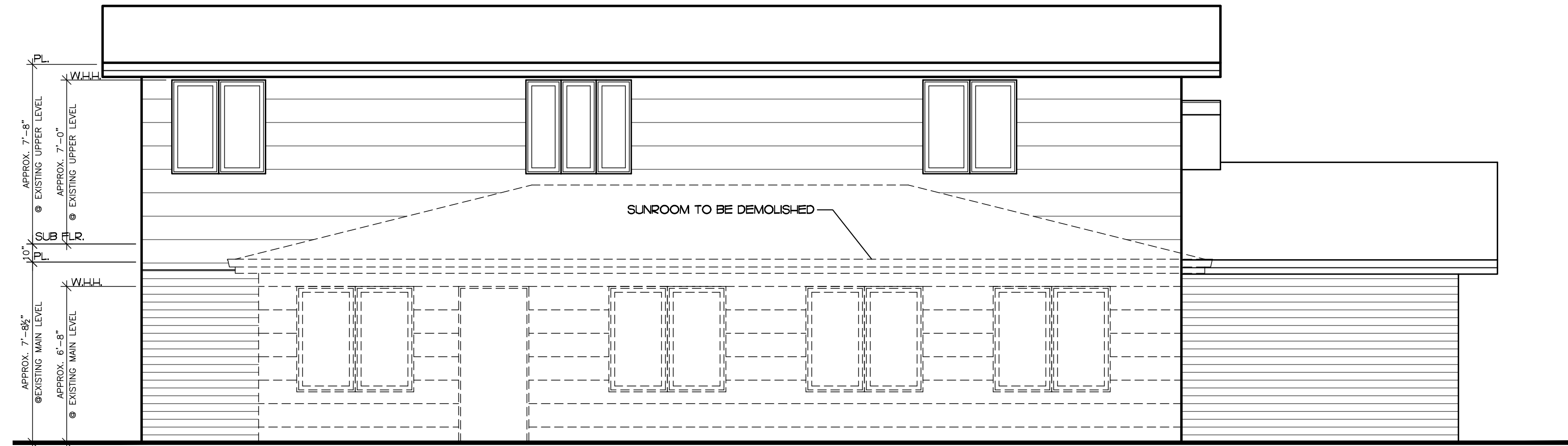
EXISTING ELEVATIONS

SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
7993 MEADOW LAKE DRIVE
NIWOT, COLORADO

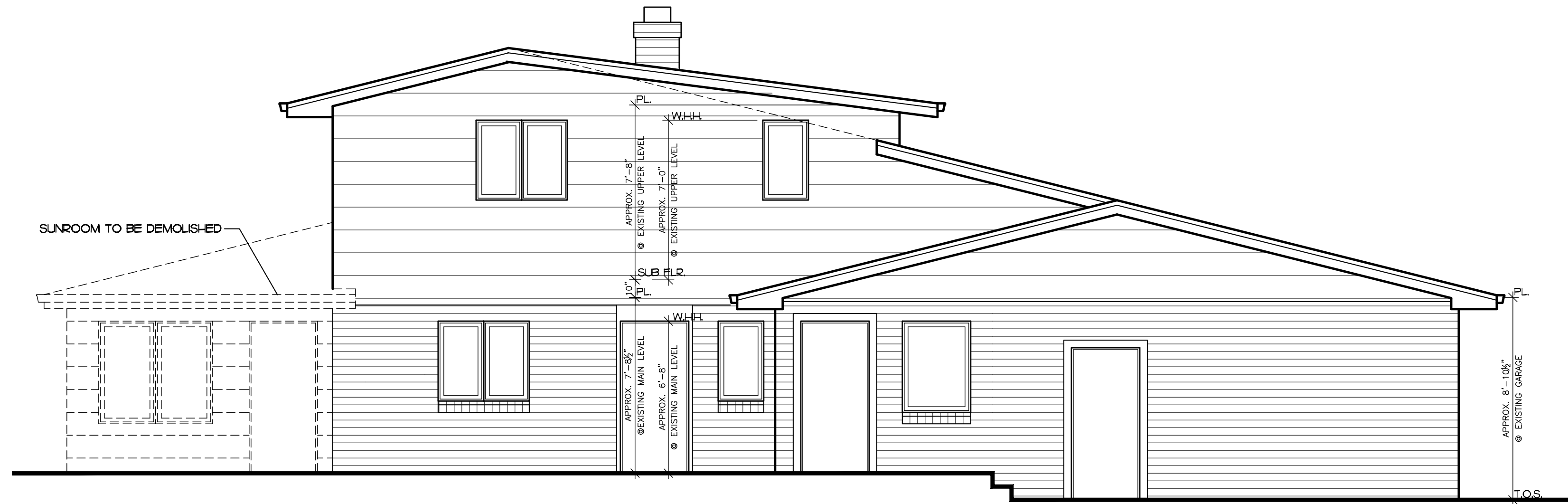
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po box 498 • niwot, colorado • 80544 • 720-494-7602
www.waughworld.net
e-mail info@waughworld.net

DRAWN BY: T. WAUGH

REVISIONS:



EXISTING NORTH ELEVATION
SCALE : 1/4"=1'-0"



EXISTING WEST ELEVATION
SCALE : 1/4"=1'-0"

REVISIONS:

DRAWN BY: T. WAUGH

SINGLE FAMILY RESIDENCE FOR HENRY & MARY WRIGHT
7993 MEADOW LAKE DRIVE
NIWOT, COLORADO

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SHEET NO.: DATE:
A 3 APRIL 2020

EXISTING
ELEVATIONS



**Boulder County
Land Use Department
Publications**

Historic Preservation Referral Requirement

Land Use Department
Courthouse Annex Building
2045 13th Street
PO Box 471
Boulder, CO 80302

Planning Division:
Phone: 303.441.3930
Fax: 303.441.4856
Email: planner@bouldercounty.org
Website: www.bouldercounty.org/lu

Office Hours:
Monday - Friday 8 a.m. to 4:30 p.m.
Closed Tuesdays 8 to 10 a.m.

Historic Preservation Referral Requirement

Boulder County is committed to identifying and preserving the rich history of the unincorporated areas of the county. Through our Comprehensive Plan, Land Use Code, and other policies we have created a program to document, protect, and preserve the varying historic resources in our jurisdiction. County Land Use Staff and the Historic Preservation Advisory Board (HPAB) are available to assist property owners in researching their property history, determining whether it is eligible for landmark designation, identifying ways to preserve the property and finding financial incentives for preservation.

The Historic Preservation Advisory Board (HPAB) serves as a referral body to review and comment on development proposals which would affect historic properties (any property with structures 50 years of age or older). Development review applications may require review by the full Historic Preservation Advisory Board, however, this depends on the nature of the historic resource and specific development proposal. A Boulder County Historic Preservation Planner in coordination with the members of HPAB determines the appropriate level of review for each development project.

Please contact a Boulder County Land Use Historic Preservation Planner at historic@bouldercounty.org or 303-441-3930 to discuss your project, and complete this form prior to submitting an application. Contact staff as soon as possible, since historic property research can take time. To avoid delays, contact the staff to begin this research well in advance of your submittal.


Applicant - Please complete this section:

Applicant(s): HENRY & MARY WRIGHT		
Project Address: 7993 MEADOW LAKE DRIVE		
City: NIMOT	State: CO	Zip Code: 80503
Parcel Information: LOT 3 HEATHER HILLS		

The following is required to be completed by a Boulder County Historic Preservation Planner:

Land Use Staff in cooperation with HPAB has considered an application for:

at the property listed above and has determined that the Application:

<input type="checkbox"/>	Does not require a referral
<input checked="" type="checkbox"/>	Requires a referral only to the Boulder County Historic Preservation Planner lacks significance
<input type="checkbox"/>	Requires a review by the Historic Preservation Advisory Board
Historic Preservation Planner Signature: 	Date: 5/12/22